



12803 S. Wacousta Rd., Grand Ledge, MI 48837

517-626-6593

www.watertownmi.gov

MONDAY, APRIL 15, 2024
BOARD OF TRUSTEES REGULAR MEETING AGENDA
7:00 PM SOUTH ROOM

Electronic packet file format: Hover over agenda item and select to take you to the corresponding page. Use RETURN TO AGENDA button to take you back to top

	Resp. Party	Action	Attachment Number
1. MEETING OPENING A. Call to Order B. Pledge of Allegiance C. Roll Call	JM JM CB		
2. PUBLIC COMMENT <i>(Identify yourself. 3 minutes per comment may be enforced. If your comment is related to an agenda item, there will be an opportunity to make comment after the board has discussed, but before a vote is taken)</i>			
3. CONSENT AGENDA A. Correspondence <i>(Receive & Place on File):</i> 1. Note from Clinton County Sheriff, Sean Dush B. Routine Bills – Bill List <i>(Approval)</i> C. Board Reports <i>(Receive & Place on File):</i> 1. Planning Director, March 2023 2. Permitting Activities, March 2023 3. Treasurer Memo, March 2023 4. Investment Report, March 2023 5. Treasurer Financial Status Report, March 2023 6. Clerk Update, April 2024 7. Township Manager, March 2023 D. Reports <i>(Receive & Place on File):</i> 1. Ken Mitchell, Clinton Co Commission Report-April 2. Election Commission Draft Minutes – March 6, 2024 3. SCCMUA Directors Report - March	JM		3-A-1 3-B Motion to approve all items on the consent agenda, minus items pulled from consent 3-C-1 3-C-2 3-C-3 3-C-4 3-C-5 3-C-6 3-C-7 3-D-1 3-D-2 3-D-3
4. AGENDA APPROVAL	JM	Motion	Agenda
5. APPROVAL OF MINUTES A. March 18, 2024, Regular Meeting	JM	Motion	5-A
6. APPROVAL OF ADDITIONAL BILL LIST	JM	Motion	On Table
7. PUBLIC HEARING <i>(5 Minute limit on comments may be enforced)</i>	N/A	None	None
8. PENDING BUSINESS	N/A	None	None



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9. NEW BUSINESS			
A. Reappointment of Richard Turcotte to Construction Board of Review. Term May 1, 2024-April 30, 2027	CB	Motion	9-A
B. Planning Commission Appointment to Zoning Board of Appeals	AP	Motion	9-B
C. Resolution 4-15-2024-1 Partial Termination of a Farmland Development Rights Agreement – James Lonier	AP	Motion	9-C
D. Case No. 24-03 Special Land Use – House of Promise, 15275 Francis Road	AP	Motion	9-D
10. BOARD MEMBER AND PUBLIC COMMENT			
11. ADJOURNMENT			

Watertown Charter Township will provide reasonable accommodations and services to individuals with disabilities which are needed to fully participate in any Township meeting. Please provide 72 hours' notice. Contact Watertown Charter Township Clerk, Carolyn Brokob via email: clerk@watertownmi.gov or phone (517) 626-6593 to request the necessary assistance.



RECEIVED

APR - 9 2024

Watertown Townships -

Thank you so much for
your generous donation to the
Tri-County Metro Unit. Your
contribution means more than
you know.

WATERTOWN CHAPTER TWP

A handwritten signature in blue ink, appearing to read "L. Clark".

WATERTOWN CHARTER TOWNSHIP
 BILL LIST FOR MEETING
 APRIL 15, 2024

ATTACHMENT 3-B
 4-15-2024 BOT MTG

VENDOR	PURPOSE	AMOUNT
***PAYROLL PAID 03-29-24 ***		
ELECTRONIC FEDERAL DEPOSIT	GF TWP SHARE SOCIAL SECURITY & MEDICARE	\$2,857.25
PAYROLL	GF PAYROLL FOR STAFF, BOARDS AND COMMITTEES	\$41,978.24
MERS	GF TWP SHARE PENSION COSTS	\$10,624.36
TOTAL		\$55,459.85
GENERAL FUND TOTAL		\$55,459.85
BILLS PAID 04-01-24		
ACTION FLAG	GF FLAGS FOR VETERAN GRAVES	694.52
BUSINESS CREDIT CARD	GF BROKOB - TRAINING	50.00
	GF CASE - ELECTION FOOD, DOOR REPAIR	126.41
	GF BIERGANS - MMTA CONFERENCE	599.00
	GF MINTON - MEMORY CARD	15.19
	GF TUBBS - SUBSCRIPTION, FIRST AID KIT	47.81
CHRISTY SOCHAY	GF MEDICAL & MILEAGE REIMBURSEMENT	1,790.87
CLINTON COUNTY SHERIFF	GF METRO CONTRIBUTION	500.00
DONNA C. MINTON	GF MEDICAL REIMBURSEMENT	333.19
DOUGLASS, TONI	GF DEPOSIT REFUND	150.00
HOLLY MADILL	GF MEDICAL REIMBURSEMENT	327.09
INCLUSION SOLUTIONS	GF 4 STATION FRANKLIN VOTING BOOTHS	2,202.18
JACOB SCHAEFER	GF GRAVE OPENINGS	550.00
JEFFREY S. MACKENZIE	GF ASSESSOR 03/16-31/2024	3,589.75
JOHN E. MAAHS	GF MEDICAL REIMBURSEMENT	299.20
JOHN'S REPAIR	GF TRUCK REPAIR	3,223.84
LANSING ICE & FUEL	GF PROPANE	425.97
LOOKING GLASS REGIONAL FIRE	GF BUDGET PAYMENT	51,991.71
MANER COSTERISAN	GF AUDIT PREP	2,300.00
MENARD'S	GF PAINT, GYM, CEMETERY MAINTENANCE	646.63
NORTHWESTERN MUTUAL LIFE	GF DISABILITY INSURANCE	966.17
PROVIDENCE	GF MONTHLY TECHCARE	1,933.10
QUILL CORPORATION	GF OFFICE SUPPLIES	425.26
ROSE PEST SOLUTIONS	GF PEST CONTROL	69.00
S.C.C.M.U.A.	SF MONTHLY PAYMENT	43,923.04
SCHULER, HANNAH	GF DEPOSIT REFUND	150.00
STANDARD INSURANCE COMPANY	GF LIFE INSURANCE	209.29
SUE BIERGANS	GF MILEAGE REIMBURSEMENT	178.89
SUSAN HUNTER	GF MILEAGE REIMBURSEMENT	17.83
TAYLOR, LINDA	GF DEPOSIT REFUND	150.00
TODD HUFNAGEL	GF MEDICAL REIMBURSEMENT	881.72
TOTAL		\$118,767.66
GENERAL FUND TOTAL		\$74,844.62
SEWER FUND TOTAL		\$43,923.04

WATERTOWN CHARTER TOWNSHIP
 BILL LIST FOR MEETING
 APRIL 15, 2024

VENDOR	PURPOSE	AMOUNT
***PAYROLL PAID 04-15-24 ***		
ELECTRONIC FEDERAL DEPOSIT	GF TWP SHARE SOCIAL SECURITY & MEDICARE	\$2,674.23
PAYROLL	GF PAYROLL FOR STAFF, BOARDS AND COMMITTEES	\$34,957.47
MERS	GF TWP SHARE PENSION COSTS	\$5,093.37
TOTAL		\$42,725.07
GENERAL FUND TOTAL		\$42,725.07

BILLS PAID 04-15-24		
ACD	GF TELEPHONE EQUIPMENT	\$234.52
BRADFORD PRINTING	GF SPRING NEWSLETTER	\$2,283.35
CAROLYN BROKOB	GF MILEAGE AND EXPENSE REIMBURSEMENT	\$126.21
CONSUMERS ENERGY	GF STREETLIGHTS	\$2,914.79
	GF PARK AND RIDE LOT	\$45.42
	GF WATERTOWN CHARTER TOWNSHIP	\$279.70
	GF HERITAGE PARK	\$38.31
	GF CEMETERY	\$56.17
	GF LOOKING GLASS PARK	\$28.77
	GF TOWNSHIP OFFICE AND GYM	\$1,353.78
CULLIGAN	GF BOTTLED WATER	\$46.50
GRANGER	GF TRASH REMOVAL	\$43.81
JEFFREY MACKENZIE	GF ASSESSOR 04/01-15/2024	\$3,589.75
MICHIGAN FLEET FUELING	GF FUEL	\$124.10
MUNICIPAL INSPECTION SERVICE	GF PERMITS	\$15,312.00
PONTEM SOFTWARE	GF ANNUAL SUBSCRIPTION	\$800.00
RON OVERTON	GF MEDICAL REIMBURSEMENT	\$887.34
SUE BIERGANS	GF MEDICAL REIMBURSEMENT	\$1,875.92
VERIZON	GF CELL PHONES	\$202.55
WOW	GF INTERNET	\$176.54
TOTAL		\$30,419.53
GENERAL FUND TOTAL		\$30,419.53
SEWER FUND TOTAL		
WATER FUND TOTAL		

WATERTOWN CHARTER TOWNSHIP
 BILL LIST FOR MEETING
 APRIL 15, 2024

VENDOR	PURPOSE	AMOUNT
BILLS TO BE PAID 05-01-24		
JEFFREY S. MACKENZIE	GF ASSESSING SERVICES	\$3,589.75
LOOKING GLASS REGIONAL FIRE	GF BUDGET PAYMENT	\$51,991.71
S.C.C.M.U.A.	SF MONTHLY SEWER	\$43,923.04
TOTAL		\$99,504.50
GENERAL FUND TOTAL		\$55,581.46
SEWER FUND TOTAL		\$43,923.04
***BILLS TO BE PAID AFTER BOARD APPROVAL ***		
MCGINTY HITCH	GF FEBRUARY LEGAL FEES	\$700.00
TOTAL		
GENERAL FUND TOTAL		\$2,202.18

MEMORANDUM

TO: WATERTOWN TOWNSHIP PLANNING COMMISSION
FROM: ANDREA Z. POLVERENTO, PLANNING DIRECTOR
SUBJECT: MONTHLY REPORT: MARCH 2024
DATE: MARCH 27, 2024

Meetings & Events

3/6 – Planning Commission Regular Meeting
3/13 – Zoning Board of Appeals Regular Meeting
3/18 – Board of Trustees Regular Meeting
3/19 – Michigan Public Service Commission webinar re: state preemption of wind/solar
3/21 – Michigan Association of Planning Training: Housing Supply, Choice, & Affordability

Enforcement

Wacousta Road – junk & junk vehicles – civil infraction ticket issued; hearing rescheduled for 4/1/24
Wacousta Road – junk & junk vehicles – civil infraction ticket issued; will offer Dump Your Junk Day disposal as option before scheduling hearing
Cutler Road – Red tag – working with company on compliance issues, some progress made
Hummingbird Lane – junk vehicle – second notice sent
Grove Road – setback infringement – first notice sent
Wacousta Road – junk – first notice and Dump Your Junk Day opportunity pending

Development

Plumbers & Pipefitters plan review complete, expecting building permit issuance soon.
Working with Peckham Farms on permitting for approved site plan.
Site Plan Review application received for the House of Promise campus expansion.
Site Plan Review application received for expansion at Myers Plumbing on Industrial Pkwy.
Nottingham issues still unresolved, applicant may seek to work with Clinton County Road Commission regarding bonding issues.
Property owner on Herbison Road expected to seek approval for land divisions for 6-7 new residential lots.

ZBA

The ZBA met in March and took action to rescind the approval for the variance which was approved, and to enter a variance denial on the record.
Three members of the Zoning Board of Appeals participated in a Michigan Association of Planning training on advanced fundamentals.

Master Plan Update

Master Plan update has been adopted by the Planning Commission and Board of Trustees. Pending inclusion of signed resolutions of adoption being included in the document, the final plan will be posted on the township's website. Letter to Giffels Webster sent 3/27.

Other

Staff is working to update the Planning & Zoning page on the township's website. This includes updated documents related to the master plan, a new page to provide the groundwater testing reports and documents, and resources for residents on well and septic regarding maintenance. Additional documents are being prepped for updates. Staff is working to eliminate redundancies where documents are information is cross-posted to avoid future issues with updating the same information in multiple locations.

Staff has been working with a resident to amend a PA116 agreement, which requires various actions at the township level.

FOIA requests and Zoning Verification Letters completed and submitted.

Staff continues to monitor the action at the state level related to renewable energy.

Housing Supply, Choice & Affordability Training

I attended the Michigan Association of Planning's seminar on housing on March 21. This seminar was excellent, one of the most useful and engaging seminars on this topic I've participated in. The presenter provided an exhaustive list of data sources beyond the US Census to better assess and understand local, regional, and statewide trends. This also included sources which provide useful visuals for mapping these trends. The seminar also provided strategies for engaging the public on housing, policies on best practices, potential zoning amendment considerations, and a lengthy primer on accessory dwelling units and their design. This seminar also included a few activities that I think the Planning Commission will find useful as they consider this topic in the future. I plan to adapt these activities with Watertown Township's data, and review them at an upcoming Planning Commission meeting. I appreciate the opportunity to participate in these trainings.

Planning & Zoning Monthly Report - March 2024

Residential	Current Month	Year to Date
New Residences	1	6
Residential Additions		
Accessory Buildings/Garages		2
Decks and Porches	3	4
Pools/Ponds/Hot Tubs	2	3
Home Occupations		1
Residential Solar		
Commercial/Industrial		Year to Date
New /Remodel/Additions		
Sign Permits		
Cell Towers and Related		
Agricultural		
Agricultural Buildings		1

Certificates of Occupancy Issued:

	Current Month	Year to Date
Residential	1	1
Commercial/Industrial		

TREASURER'S INVESTMENT MEMO

To: Supervisor Maahs, Clerk Brokob, Trustees Cooley, Overton, Madill, and Hufnagel

From: Sue Biergans, Treasurer

RE: March Investment Activity

Date: April 5, 2024

During the month of March 2024, the following interest received:

MI-Class	Total Interest added	\$14,645.99
MI-Class Edge	Total Interest added	\$ 8,175.11
Multi-Bank Securities	Total Interest added	\$14,340.47
Horizon Bank	Total Interest added	\$ 816.65
Consumers Credit Union	Total Interest added	\$ 9,870.57

Percent of investment portfolio per financial institution is:

CIBC	Consumers CU	Dart	Flagstar	Horizon	MI CLASS	MI CLASS EDGE	MBS	Mercantile
\$150,000.00	\$250,000.00	\$122,500.00	\$101,699.93	\$103,449.83	\$1,517,012.41	\$341,976.90	\$133,434.00	\$100,000.00
\$156,300.21		\$100,000.00		\$128,834.37	\$12,993.56	\$973,984.89	\$133,324.50	\$100,000.00
		\$122,500.00		\$130,137.56	\$5,280.55	\$10,822.09	\$145,515.00	\$250,000.00
					\$476,667.03	\$973,984.89	\$195,994.00	
					\$55,079.50		\$195,498.00	
					\$206,415.85		\$201,494.00	
					\$5,475.22		\$250,000.00	
					\$76,547.88		\$200,000.00	
					\$847,126.87		\$247,685.00	
							\$249,000.00	
							\$250,000.00	
							\$250,000.00	
							\$250,000.00	
							\$248,000.00	
							\$249,000.00	
							\$249,000.00	
							\$247,000.00	
							\$223,510.00	
							\$87,661.00	
							\$197,894.00	
							\$247,442.50	
							\$250,000.00	
							\$250,000.00	
							\$250,000.00	
							\$250,415.00	
							\$250,000.00	
							\$178,314.00	
							\$176,618.00	
\$306,300.21	\$250,000.00	\$345,000.00	\$101,699.93	\$362,421.76	\$3,202,598.87	\$2,300,768.77	\$6,056,799.00	\$450,000.00
\$13,375,588.54								
2.29%	1.87%	2.58%	0.76%	2.71%	23.94%	17.20%	45.28%	3.36%

SCHEDULE OF INVESTMENTS FOR MARCH 2024

ITEM Item #	Year	Fund or Investment Description	Purchase Amount	Adjustment '+ OR -'	Purchase Date	Maturity Date	Interest %	Interest Earned	Value at Maturity	Market Value
GENERAL FUND										
24	2001	MI-Class		\$1,822,821.68	1-Oct-07	PMMA	5.54%	\$211,233.78	\$1,517,012.41	
19	2021	MI-Class EDGE	\$900,000.00		23-Dec-21	PMMA	5.47%	\$74,835.67	\$973,984.89	\$913,918.05
26	2020	MBS 5yr	\$150,000.00		30-Nov-20	28-Nov-25	0.50%	\$2,250.00	\$133,434.00	\$133,434.00
11	2021	MBS 5 yr Gov Bond	\$150,000.00		18-Aug-21	18-May-26	0.88%	\$2,953.13	\$133,324.50	\$133,324.50
1	2022	Mercantile 2 yr	\$100,000.00		10-Feb-22	10-Feb-24	0.30%	\$610.94		Matured
4	2022	MBS 3 yr.	\$150,000.00		6-Sep-22	8-Sep-25	3.40%	\$6,804.66	\$145,515.00	\$145,515.00
5	2022	MBS 2 yr.	\$200,000.00		2-Sep-22	20-Sep-24	3.40%	\$9,072.81	\$195,994.00	\$195,994.00
6	2022	MBS 3 yr.	\$200,000.00		20-Sep-22	20-Sep-25	3.70%	\$9,873.40	\$195,498.00	\$195,498.00
11	2022	CIBC 18 months	\$150,000.00		3-Nov-22	3-May-24	4.20%		\$150,000.00	
12	2022	Horizon 2 yr	\$103,449.83		8-Dec-22	2-Dec-24	4.35%	\$3,024.05	\$103,449.83	
13	2022	MBS 2 yr.	\$200,000.00		15-Dec-22	16-Dec-24	5.00%	\$10,861.29	\$201,494.00	\$201,494.00
1	2023	MBS 5 yr.	\$250,000.00		20-Jan-23	20-Jan-26	4.75%	\$12,883.56	\$250,000.00	
3	2023	Consumers Credit Union	\$200,000.00		6-Mar-23	6-Mar-24	4.85%	\$9,870.57		Matured
4	2023	MBS 3 yr.	\$200,000.00		2-Mar-23	23-Mar-26	4.80%	\$8,863.54	\$200,000.00	
6	2023	Horizon 1 yr	\$128,834.37		18-Apr-23	18-Apr-24	4.53%	\$4,320.14	\$128,834.37	
7	2023	Dart Bank	\$122,500.00		16-Apr-23	16-May-24	4.90%		\$122,500.00	
8	2023	MBS 3 yr.	\$250,000.00		16-May-23	15-May-26	4.60%	\$5,806.67	\$247,685.00	
10	2023	MBS 3 yr.	\$249,000.00		30-Jun-23	30-Jun-26	4.70%	\$7,823.36	\$249,000.00	
11	2023	MBS 3 yr.	\$250,000.00		27-Jul-23	27-Jul-26	4.75%	\$6,994.86	\$250,000.00	
12	2023	Mercantile 1 yr	\$250,000.00		31-Aug-23	30-Aug-24	5.05%		\$250,000.00	
14	2023	Dart 13 month	\$100,000.00		11-Aug-23	11-Sep-24	4.90%		\$100,000.00	
16	2023	MBS 5 yr.	\$250,000.00		27-Sep-23	27-Sep-28	5.00%	\$5,239.72	\$250,000.00	
18	2023	Dart 13 month	\$122,500.00		27-Oct-23	27-Nov-24	5.25%		\$122,500.00	
19	2023	MBS 3 yr.	\$250,000.00		14-Nov-23	14-Aug-26	5.10%	\$3,213.71	\$250,000.00	
20	2023	MBS 5 yr.	\$248,000.00		14-Nov-23	14-Feb-28	4.90%	\$3,065.76	\$248,000.00	
21	2023	Horizon 1 yr	\$130,137.56		2-Dec-23	2-Dec-24	4.64%		\$130,137.56	
22	2023	MBS 4 yr.	\$249,000.00		12-Dec-23	12-Dec-27	4.55%	\$1,924.46	\$249,000.00	
23	2023	FlagStar 17 months	\$101,699.93		13-Dec-23	13-May-25	5.08%		\$101,699.93	
2	2024	Mercantile 18 month	\$100,000.00		12-Feb-24	12-Aug-25	4.00%		\$100,000.00	
3	2024	MBS 2 yr.	\$249,000.00		21-Feb-24	23-Feb-26	4.00%		\$249,000.00	
4	2024	MBS 3 yr.	\$247,000.00		16-Feb-24	16-Feb-27	4.55%		\$247,000.00	
5	2024	Consumers Credit Union	\$50,000.00		15-Feb-24	6-Mar-24				Matured
6	2024	Consumers Credit Union	\$250,000.00		6-Mar-24	6-Mar-25	4.89%		\$250,000.00	
GENERAL FUND TOTAL			\$3,953,784.20	\$1,822,821.68			46.33%	\$288,319.45	\$7,745,063.49	\$1,180,676.55
CURRENT TAX										
24	2001	MI-Class		-\$6,151.51	Dec 2010	PMMA	5.54%	\$4,697.21	\$5,280.55	
CURRENT TAX TOTAL				-\$6,151.51				\$4,697.21	\$5,280.55	
SEWER RECEIVING FUND										
24	2001	MI-Class	\$115,000.00	\$1,740,492.48	1-Oct-07	PMMA	5.54%	\$141,634.39	\$847,126.87	
19	2021	MI-Class EDGE	\$900,000.00		23-Dec-21	PMMA	5.47%	\$74,835.65	\$973,984.89	\$913,918.05
2	2021	MBS 5 yr Gov Bond	\$250,000.00		28-Apr-21	28-Apr-26	1.00%	\$6,250.00	\$223,510.00	\$223,510.00
18	2021	MBS 5 yr	\$100,000.00		17-Dec-21	17-Dec-26	1.15%	\$2,300.01	\$87,661.00	\$87,661.00
7	2022	MBS 3 yr.	\$200,000.00		28-Sep-22	28-Mar-25	4.10%	\$10,976.87	\$197,894.00	\$197,894.00
10	2022	MBS 2 yr.	\$250,000.00		3-Oct-22	24-Sep-24	4.00%	\$12,547.95	\$247,442.50	\$247,442.50
5	2023	MBS 3 yr.	\$250,000.00		3-Apr-23	3-Apr-26	5.10%	\$10,689.08	\$250,000.00	
9	2023	CIBC 1 yr	\$156,300.21		2-May-23	1-May-24	4.90%		\$156,300.21	
13	2023	MBS 1 yr.	\$250,000.00		2-Aug-23	1-Aug-24	5.25%		\$250,000.00	
15	2023	MBS 1 yr.	\$250,000.00		13-Sep-23	12-Sep-24	5.60%	\$6,065.31	\$250,000.00	
17	2023	Mercantile Bank 1 yr.	\$100,000.00		8-Oct-23	7-Oct-24	4.93%		\$100,000.00	
1	2024	MBS 5 yr.	\$250,000.00		17-Jan-24	17-Jan-29	4.05%	\$859.93	\$250,415.00	
7	2024	MBS 3 Yyr.	\$250,000.00		19-Mar-24	19-Mar-27	4.60%		\$250,000.00	
SEWER REC TOTAL			\$3,321,300.21	\$1,740,492.48			13.15%	\$216,470.04	\$4,084,334.47	\$913,918.05
WATER FUND										
24	2001	MI-Class	\$237,776.20	\$365,245.73	3-Apr-06	PMMA	5.54%	\$64,645.10	\$476,667.03	
19	2021	MI-Class EDGE	\$316,000.00		23-Dec-21	PMMA	5.47%	\$26,275.60	\$341,976.90	\$320,886.77
1	2021	MBS 5 yr GOV BOND	\$200,000.00		21-Apr-21	21-Apr-26	0.90%	\$4,500.00	\$178,314.00	\$178,314.00
WATER FUND TOTAL			\$753,776.20	\$365,245.73			11.90%	\$90,920.70	\$996,957.93	\$320,886.77
T.I.R.F.										
24	2001	MI-Class	\$102,000.00	-\$105,857.87	21-May-01	PMMA	5.54%	\$26,851.43	\$12,993.56	
19	2021	MI-Class EDGE	\$10,000.00		23-Dec-21	PMMA	5.47%	\$831.53	\$10,822.09	\$10,154.66
13	2021	MBS 5yr	\$200,000.00		28-Jan-21	26-Jan-26	0.50%	\$3,694.86	\$176,618.00	\$176,618.00
T.I.R.F TOTAL			\$312,000.00	-\$105,857.87			11.50%	\$31,377.82	\$200,433.65	
STOLL ROAD PAVING										
Bond paid in full 2021										
24	2001	MI-Class	\$528,136.10	-\$383,775.16	29-Nov-06	PMMA	5.54%	\$61,854.91	\$206,415.85	
STOLL RD PAVING TOTAL			\$528,136.10	-\$383,775.16				\$61,854.91	\$206,415.85	
STOLL RD WATER										
Bond paid in full 2021										
24	2001	MI-Class	\$410,483.63	-\$417,919.90	29-Nov-06	PMMA	5.54%	\$12,711.49	\$5,475.22	
STOLL RD WATER TOTAL			\$410,483.63	-\$417,919.90				\$12,711.49	\$5,475.22	
STOLL RD SEWER										
Bond paid in full 2021										
24	2001	MI-Class	\$1,942,691.91	-\$1,950,232.81	29-Nov-06	PMMA	5.54%	\$67,620.40	\$55,079.50	
STOLL RD SEWER TOTAL			\$1,942,691.91	-\$1,950,232.81				\$67,620.40	\$55,079.50	
WACOUSTA RD PAVING										
Bond paid in full 2021										
24	2001	MI-Class	\$50,848.01	-\$16,528.36	13-Apr-07	PMMA	5.54%	\$42,884.92	\$76,547.88	
WACOUSTA RD PAVING TOTAL			\$50,848.01	-\$16,528.36				\$42,884.92	\$76,547.88	
								\$13,375,588.54	Total of principal	

SUE BIERGANS, TREASURER

PMMA - Pooled Money Market Account, liquid funds

MMA - Money Market Account

GOV BOND - United States Government Bonds, full faith and credit of US Government

MARCH 2024

Financial Status Report

MARCH 2024

ACCOUNTS	BEGINNING BALANCE	FUNDS RECEIVED	FUNDS DISBURSED	ENDING BALANCE
GENERAL FUND				
CHECKING	\$ 12,910.26	\$ 487,684.13	\$ 470,141.51	\$ 30,452.88
SAVINGS ACCOUNT	\$ 2,344,466.44	\$ 113,921.79	\$ 320,137.62	\$ 2,138,250.61
INVESTMENTS	\$ 7,734,665.26	\$ 15,447.29	\$ 5,049.06	\$ 7,745,063.49
TOTAL	\$ 10,092,041.96	\$ 617,053.21	\$ 795,328.19	\$ 9,913,766.98
TAX				
SAVINGS ACCOUNT	\$ 146,947.14	\$ 249,848.95	\$ 296,755.77	\$ 100,040.32
INVESTMENTS	\$ 5,256.38	\$ 24.17		\$ 5,280.55
TOTAL	\$ 152,203.52	\$ 249,873.12	\$ 296,755.77	\$ 105,320.87
TIRF				
SAVINGS ACCOUNT	\$ 87,111.06	\$ 187.93		\$ 87,298.99
INVESTMENTS	\$ 200,335.74	\$ 97.91		\$ 200,433.65
TOTAL	\$ 287,446.80	\$ 285.84	\$ -	\$ 287,732.64
WATER DISTRICT #1				
SAVINGS ACCOUNT	\$ 221,537.34	\$ 7,456.31	\$ 116,084.03	\$ 112,909.62
INVESTMENTS	\$ 993,562.92	\$ 3,395.01		\$ 996,957.93
TOTAL	\$ 1,215,100.26	\$ 10,851.32	\$ 116,084.03	\$ 1,342,035.61
SEWER RECEIVING FUND				
SAVINGS ACCOUNT	\$ 508,396.48	\$ 132,990.98	\$ 294,242.91	\$ 347,144.55
INVESTMENTS	\$ 3,826,999.69	\$ 257,334.78		\$ 4,084,334.47
TOTAL	\$ 4,335,396.17	\$ 390,325.76	\$ 294,242.91	\$ 4,431,479.02
WACOUSTA RD PAVING				
INVESTMENTS	\$ 76,197.81	\$ 350.07	\$ -	\$ 76,547.88
TOTAL	\$ 76,197.81	\$ 350.07	\$ -	\$ 76,547.88
STOLL ROAD PAVING				
INVESTMENTS	\$ 205,471.88	\$ 943.97		\$ 206,415.85
TOTAL	\$ 205,471.88	\$ 943.97	\$ -	\$ 206,415.85
STOLL ROAD WATER				
INVESTMENTS	\$ 5,450.15	\$ 25.07		\$ 5,475.22
TOTAL	\$ 5,450.15	\$ 25.07	\$ -	\$ 5,475.22
STOLL ROAD SEWER				
INVESTMENTS	\$ 54,827.61	\$ 251.89		\$ 55,079.50
TOTAL	\$ 54,827.61	\$ 251.89	\$ -	\$ 55,079.50
GRAND TOTAL	\$ 16,424,136.16	\$ 1,269,960.25	\$ 1,502,410.90	\$ 16,423,853.57



Clerk's Office

ATTACHMENT 3-C-6
4-15-2024 BOT MTG

Carolyn A. Brokob, Clerk
cbrokob@watertownmi.gov
www.watertownmi.gov

12803 S. Wacousta Rd, Grand Ledge MI 48837 | 517-626-6593

.....

CLERK UPDATE – April 15, 2024

CERTIFICATION: Attended the third year of Michigan Associate of Municipal Clerks (MAMC) Institute, and graduated with Central Michigan University Certification and obtained Michigan Professional Municipal Clerk designation (MiPMC). The professional and personal development obtained at MAMC Institute is invaluable and deepens my knowledge of topics experienced by Municipal Clerks. The networking and collaboration with other township, city, and village Clerks enhances my resources to carry out the work.

TABLETOP EXERCISE: The Clerk and Deputy Clerk attended a tabletop exercise focused on emergency election scenarios requiring coordination with law enforcement. The event was hosted by Michigan Department of State, the Committee for Safe and Secure Elections, and the Cybersecurity and Infrastructure Security Agency (U.S. Dept of Homeland Security). The exercise was attended by election officials and law enforcement. As an election official, I am contacting the Clinton County Sheriff to share some of the information and request collaboration to PROTECT VOTERS, PROTECT ELECTION OFFICIALS, and PROTECT DEMOCRACY. The Sheriff's office has always been willing to patrol and use resources on election day. Threats, intimidation, and harassment of election officials is the number one reason for the "great resignation" of Clerks.

FOIA REQUESTS: The last month has seen an increase in Freedom of Information Requests with nine requests being received.

PRESIDENTIAL PRIMARY: The Board of State Canvassers completed the canvass of the February 27, 2024, Presidential Primary on March 18, 2024. Release of security was received, and all documents and ballots were stored properly according to Michigan election law until the expiration of the retention period.

MAY ELECTION: There is a special election on May 7, 2024, for Watertown Charter Township registered voters living in Waverly School District and St. Johns School District. The Election Commission met in March to authorize the consolidation with neighboring jurisdictions to take in-person voters, as the total eligible voter count for Watertown is low. Notices have been sent to each voter that is impacted by this election. Absentee voter (AV) ballots were sent the last week in March to every voter on the permanent ballot list.

CEMETERY CREMAINS GARDEN: The final planting in the cremains garden that surrounds the Columbarium was completed this week. Installation of the flagpole is projected to be done before Memorial Day which will complete the project. I plan to reach out to the Cemetery Board to inquire about a dedication ceremony.

Memorandum

To: Watertown Township Board
From: Jennifer Tubbs, Watertown Township Manager
Date: April 10, 2024

RE: Township Manager's monthly report

Committees/Meetings:

- Attended Southern Clinton County Municipal Utility Authority Meeting
- Attended Looking Glass Regional Fire Authority Board Meeting
- Attended TAMC Data Committee Meeting
- Attended the Zoning Board of Appeals Meeting
- Attended the Planning Commission Meeting
- Attended the yearly road meeting at the Clinton County Road Commission
- Attended The Transportation Asset Management Council Meeting
- Attended LGRFA Special Meeting

Economic Development:

- Site Searches – zero
- Related Correspondence – zero
- Meetings – one

Office Operation:

- Staff related assistance – thirteen

The township staff collaborated with the auditors to complete the 2023 audit.

Resident Relations:

- Road complaints – one
- Resident questions/interactions/meetings – nine

There was a resident noise complaint in the area of Francis and Herbsion Road and a request for the township to pass a noise ordinance. It was explained to the resident that the noise ordinance had been repealed at the Sherriff's (former) request because it was non enforceable. Further, that the noise (a radio playing) was due to a resident who was playing a radio in their barn to deter hawks from killing their chickens and ducks. The home is in the Agricultural District. I spoke with the homeowner regarding the complaint and the homeowner expressed that they felt they were being harassed by the home that made the

complaint. There are no violations of any ordinances in the township and harassment is a civil issue.

Township Board Relations:

- Board member related assistance – eleven
- Board member meetings – three

Miscellaneous:

Wacousta School Update –

The township is waiting for the contract from Grand Ledge Administration.

Dump your Junk – Is scheduled for Saturday, April 20th. Please let staff know if you can volunteer to work at this event.

Clinton County Ken Mitchell Monthly Report
April 2024

1. Solar Ordinance
 - a. At the March BOC meeting, the revised ordinance was passed 5-2.
 - b. The Wind Ordinance should be addressed at the next BOC meeting.

2. State Internet Grant
 - a. Still waiting for the official word but Clinton County has been unofficially informed we will receive \$14,000,000 for the installation of fiber optic internet in un-served or underserved areas of the county. This will effect about 3,300 Family's, Farms and Small Business.

3. CAPCOG-Capital Council of Governments
 - a. The strategic support package being worked on by our group is seeking from the state the following state funding for projects that emphasize economic growth, improve infrastructure and enhance the overall quality of light throughout the region.
 - i. Clinton County
 1. Watermain Extension in Bingham Township \$2.8M
 2. Additional Funding for Airport Road \$4M. This funding would facilitate a pavement reconstruction project that would extend the roads life cycle to 20-30 yrs. The scope of the work would encompass the entire stretch of Airport Rd starting from Grand River, extending through the I-69 Interchange and continuing north to Clark Rd.

4. Free Smoke Alarms and Installation
 - a. The American Red Cross will be installing free smoke alarms throughout April and May. Judi Harris is the contact for this program. Judi.Harris@redcross.org or 517-599-1568.

5. Fairgrounds Repair
 - a. \$45K of CIP funds approved to fix the Beef Barn Roof

6. Clinton County Historical Society
 - a. 50th Anniversary this year
 - b. Starting a campaign to create The Bath School Museum Building Project to preserve artifacts, documents and photographs pertaining to the Bath School Disaster of May18,1927.
 - c. Estimated cost of this project is \$5M.
 - d. Information at www.bathschoolemuseum.org

Election Commission Meeting Minutes of March 6, 2024-DRAFT

1. **CALL TO ORDER:** The meeting was called to order at 6:45PM by Chair Carolyn Brokob.

MEMBERS PRESENT: Clerk Carolyn Brokob, Trustee Chad Cooley, and Trustee Ron Overton

2. **PUBLIC COMMENT:** None

3. **AGENDA APPROVAL:**

Motion by Trustee Cooley, seconded by Trustee Overton, to approve the agenda as presented. Motion carried unanimously.

4. **APPROVAL OF MINUTES:**

Motion by Trustee Cooley, seconded by Trustee Overton, to approve the Election Commission meeting minutes of February 6, 2024, as presented. Motion carried unanimously.

5. **NEW BUSINESS:**

a. **Consolidation of precincts for May 7, 2024, special election**

Motion by Trustee Cooley, seconded by Trustee Overton, to waive the reading of resolution EC-3-6-2024-1. Motion carried unanimously.

Motion by Trustee Cooley, seconded by Trustee Overton, to adopt resolution EC-3-6-2024-1, consolidating precincts in Watertown Charter Township for the May 7, 2024, special election.

Roll Call Vote: Those voting AYE were Cooley, Overton, Brokob. Three AYES, zero NAYS. Motion carried - resolution adopted.

6. **ADJOURNMENT:** The meeting was adjourned at 6:48PM.

Submitted by: _____
Carolyn Brokob, Clerk

Date approved:



Director's Report

March 2, 2023

Inside this issue:

Process—Making it Clean 2

Inspections—The Scoop on the Poop 2



Southern Clinton County
Municipal Utilities
Authority
"The Clean Water People"

3671 W. Herbison Rd.
DeWitt, MI 48820
517-669-8311
www.sccmua.com
www.facebook.com/
sccmua

Southern Clinton County Municipal Utilities Authority

Volume 17 Issue 3

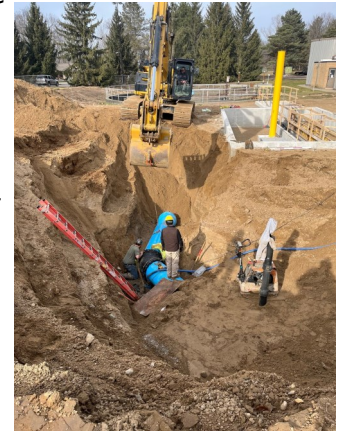
Administration

The budget process is in full swing as we work diligently to prepare a draft of the 2025 budget. The 2025 budget has added complexity as we scale up to begin payments on the SRF loan and work through the full impacts of this payment as it relates to the budget. Also, because we prepare the budget very early in the year, it can be difficult to predict and capture all impacts of ongoing construction and the anticipated decrease in chemical usage. Because these factors are difficult to forecast, we will need to evaluate in a conservative nature.



TE wall removal

The Team continues to meet with contractors regularly to work through any project issues as they arise. The change in UV piping has had ongoing impacts upstream, which are now nearly completely ironed out. A hydraulic bottleneck was also exposed, which has slightly changed plans. Fortunately, a simple upsize in pipes and valves will be the solution.



Digging the UV bypass

The team has also been working on other managed systems projects. There is a significant project in Bath with the complete reconstruction of the Chandler Road corridor. This includes a master planned reconstruction of the sewer system which will eliminate multiple stations in that area. This will be a great project for the community and is planned to start in early 2025.

Maintenance—Keeping Things Humming

During a routine generator run at the plant, a failed battery was exposed; the battery exploded, sending acid through the entire room. Thankfully, the operator who was working on the generator was not injured. The acid was neutralized, properly disposed of, and a complete set of new batteries was installed.

Part of our routine generator runs includes exercising the transfer switches to ensure proper function. This exercise while operators are onsite allows us to ensure that the transfers are synchronized and generators accept the load appropriately. This process takes more man hours but has proven beneficial as it has helped to find and diagnose mechanical or electrical issues before the system is needed in an emergency.

The maintenance team has started a new program for inspecting check valves. A properly operating check valve is essential for pump

performance and efficiency. This new process requires the operators to inspect wear items inside the valve visually. The team has been surprised at what they have found in a valve that appears to be functioning normally! With this new process they can address any concerns before they become a real problem.

Last month at station 113 in DeWitt Township, the team had to remove a pump that had a failed seal. That faulty pump was replaced by a pump that had been previously rebuilt and placed in storage. The pump that was removed will be taken into our shop and disassembled in order to determine its value and to see if it is rebuildable.



Process—Making it Clean

The team has been keeping up with routine maintenance throughout the facility as well as any unscheduled items that may need attention. Staff have also been lending a hand to assist contractors with operational changes or any needed information to help keep projects moving without delay.

The team has installed five new radar **electromagnetic transducers** throughout the new digester and sludge storage tanks. These new radar electromagnetic transducers will take the place of the ultrasonic transducers that were previously installed. There are many benefits of the radar transducers and one key benefit is that they do not rely on air for transmission as the ultra-sonic units do. The new radar electromagnetic transducers are not hindered by foam or sound waves when penetrating a solid surface and communicating back to the transmitter, which was a concern with the previous ultrasonic equipment. This improvement in transducers will provide more accurate information and have fewer occurrences of interruption due to outside factors such as wind, temperature, vapor, gasses, and sounds.

In February, we also replaced the connections from the connecting rods to the vent louvers on the combustion air vents in the new digester. The previous connection pins were weak and had broken due to corrosion. These vents are used to supply air to the room to help with the proper combustion of the boiler. As the boiler is called to fire, the vent louvers open, allowing sufficient airflow into the room.

A new vector fill valve has been installed in the maintenance garage. These improvements will allow for more efficient filling when needed. Additionally, two new hose bibs have been relocated. This relocation of the hose bibs will eliminate the tendency for the well pump to short cycle when in use.

All parameters of the NPDES permit were met.

Total precipitation for the month of February was 0.676 inches.

Inspections—The Scoop on the Poop

Inspections: 2

Miss Dig tickets: 422 (February)

Marked tickets: 69

Household Inspections: 11
 - 6 new connections
 - 5 repairs

Projects:

Shadybrook phase III work has been completed. Record drawings have been delivered. Home construction in the subdivision has begun.

Saginaw Retail (Ace Hardware) work has been completed, and all inspections have been passed. Record drawings have been delivered.

The staff has started reviewing the CCTV data from Plummer's Environmental. A total of 273 defects were observed. Many of the defects are minor and will require only continued observation. Others will

require a repair, usually in the form of a spot liner. Staff is working on a list of repairs for this year and a long-term repair schedule. A tentative cleaning and televising plan for 2024 and 2025 has been sent to Plummer's Environmental. The team has started work on a 2026 and 2027 cleaning and televising plan.

Staff have been working to improve the GIS mapping and data while reviewing the CCTV data from Plummer's. Other GIS updates include all the latest build-outs in the system.

Staff will continue to monitor problem areas and odor issues as they are reported.



Watertown Charter Township
March 18, 2024, Board of Trustees Regular Meeting Minutes - DRAFT

1. **CALL TO ORDER:** The meeting was called to order at 7:00PM by Supervisor Maahs with the Pledge of Allegiance to the Flag of the United States of America.

BOARD MEMBERS PRESENT: Supervisor John Maahs, Treasurer Sue Biergans, Clerk Carolyn Brokob, Trustee Chad Cooley, Trustee Todd Hufnagel, Trustee Holly Madill, and Trustee Ron Overton.

BOARD MEMBERS ABSENT: None

STAFF PRESENT: Township Manager Jennifer Tubbs and Township Planning Director Andrea Polverento

PUBLIC SIGNED-IN: Peg McLeod, Brian Hurtekant, and Lyle Heaton

2. **PUBLIC COMMENT:** None

3. **CONSENT AGENDA:**

Addition to 3-D-4 Reports: Commissioner Mitchell report dated March 14, 2024.

Motion by Trustee Madill, seconded by Trustee Cooley, to approve the consent agenda as amended. Motion carried unanimously.

4. **AGENDA APPROVAL:**

Motion by Trustee Cooley, seconded by Trustee Hufnagel, to approve the agenda as presented. Motion carried unanimously.

5. **APPROVAL OF MINUTES:**

A. February 20, 2024 – Regular Meeting

Clerk Brokob requested one change. Trustee Hufnagel marked as present should be stricken. Trustee Hufnagel was absent, with notice.

Motion by Clerk Brokob, seconded by Treasurer Biergans, to approve the regular meeting minutes of February 20, 2024, as amended. Motion carried unanimously.

B. February 20, 2024 – Closed Session Meeting

Motion by Trustee Madill, seconded by Trustee Hufnagel, to approve the closed session meeting minutes of February 20, 2024, as presented to the board confidentially. Motion carried unanimously.

6. **APPROVAL OF BILLS:**

Motion by Treasurer Biergans, seconded by Trustee Madill, to approve the additional bill list placed on the table dated March 18, 2024. Motion carried unanimously.

Watertown Charter Township
March 18, 2024, Board of Trustees Regular Meeting Minutes - DRAFT

7. **PUBLIC HEARING:** None

8. **PENDING BUSINESS:**

A. Clinton County Sheriff Narcotic Enforcement and Education Fund Request

Manager Tubbs recommended the continued support of this program, but the board may wish to consider a reduced contribution. There was a surplus of Tri-County METRO Narcotics Unit funds from 2023 that carried over to Clinton County's current fiscal year. Clinton County is responsible for funding the difference in this position.

Motion by Clerk Brokob, seconded by Trustee Hufnagel, to authorize a contribution of \$500 to the Clinton County Sheriff's METRO Narcotic program for police enforcements and education. Motion carried.

9. **NEW BUSINESS:**

A. Reappointment of Charles Openlander to the Planning Commission

Motion by Trustee Overton, seconded by Trustee Cooley, to re-appoint Charles Openlander to the Planning Commission to concur with the recommendation of the Supervisor with a term of April 1, 2024 - March 31, 2027. Motion carried.

B. Reappointment of Ulrika Zay to the Planning Commission

Motion by Trustee Overton, seconded by Trustee Cooley, to re-appoint Ulrika Zay to the Planning Commission to concur with the recommendation of the Supervisor with a term of April 1, 2024 - March 31, 2027. Motion carried.

C. Resolution 3-11-2024-1 Master Plan Adoption

Motion by Trustee Cooley, seconded by Trustee Madill, to waive the reading of Resolution 3-11-2024-1 Adoption of Watertown Charter Township Master Plan, March 2024. Motion carried.

Motion by Clerk Brokob, seconded by Trustee Cooley, to adopt Resolution 3-11-2024-1 Adoption of Watertown Charter Township Master Plan, March 2024.

Roll Call Vote: Those voting AYE were, Brokob, Hufnagel, Maahs, Cooley, Biergans, Overton, Madill.

Absent: None

Seven AYES, zero NAYS. Motion carried unanimously.

D. Eastern Star Request to Waive Rental Fee

Request was received from Wacousta Chapter #133, Order of the Eastern Star to waive the rental fee for use of township gym on April 6th and 7th to allow for a fundraiser that directly benefits programs that support those in the community.

Motion by Clerk Brokob, seconded by Trustee Hufnagel, to waive the gym rental fee on April 6, 2024, and April 7, 2024, for the purposes of a fundraiser held by Wacousta Chapter #133, Order of the Eastern Star. Motion carried unanimously.

Watertown Charter Township
March 18, 2024, Board of Trustees Regular Meeting Minutes - DRAFT

E. 2024 Road Contracts with Clinton County Road Commission

Manager Tubbs summarized the proposed 2024 road contracts with Clinton County Road Commission. This year's focus will be on gravel projects. The manager addressed questions about the ditching and berming process. It is unpopular with the residents during the work of the project but very necessary to maintain the integrity of gravel roads. Overall, residents are pleased when the project is finished as it assists with flooding properties, etc.

Motion by Trustee Cooley, seconded by Trustee Madill to approve of the 2024 road contracts with Clinton County Road Commission for Graveling, Overband, and Chloriding the township roads totaling \$455,305 as presented. Motion carried unanimously.

10. BOARD MEMBER AND PUBLIC COMMENT: None

11. ADJOURNMENT: 7:23PM

Date approved:

John Maahs, Supervisor

Carolyn Brokob, Clerk



12803 S. Wacousta Rd., Grand Ledge, MI 48837

517-626-6593

www.watertownmi.gov

MEMORANDUM

TO: Board of Trustees

FROM: Carolyn Brokob, Clerk

DATE: April 10, 2024

SUBJECT: Construction Board of Review Re-Appointment

Attached is the application for the re-appointment of Richard Turcotte to serve on the Construction Board of Review for a three-year term that ends April 30, 2027.

SUGGESTED MOTION:

Move to appoint Richard Turcotte to the Watertown Charter Township Construction Board of Review with a term of May 1, 2024 – April 30, 2027.

RECEIVED

APR - 4 2024

WATERTOWN CHARTER TWP



APPLICATION FOR TOWNSHIP COMMITTEES,
BOARDS, AND COMMISSIONS

TERM - MAY 1, 2024 - APRIL 30, 2027

Name of Committee/Board/Commission CONSTRUCTION B-TR

Name RICHARD TORRETT

Address _____

City/State/Zip _____

Home Phone cell _____

Business Phone _____

Email Address _____

Length of Residence in Watertown Charter Township 42 yrs

Occupation retired

Employer _____

Business Address _____

Education B.S. ENGINEERING MSU

Relevant Organizations/Affiliations Planning Commission
current member of board

Please explain your interest in serving on this Committee/Commission/Board:
filling need of the township govt.

Signature: Richard Torrett Date: 4/2/24

Please Return Completed Application To: Watertown Charter Township Clerk
12803 S. Wacousta Road
Grand Ledge, MI 48837

For additional information regarding the duties and responsibilities of any committee, board, or commission,
please contact the Township Clerk's Office. (517) 626-6593 or clerk@watertownmi.gov

MEMORANDUM

TO: WATERTOWN TOWNSHIP BOARD OF TRUSTEES
FROM: ANDREA Z. POLVERENTO, PLANNING DIRECTOR
SUBJECT: PLANNING COMMISSION REPRESENTATIVE TO THE ZONING BOARD OF APPEALS
DATE: 4/8/2024

At their April regular meeting, the Planning Commission elected officers and recommended Richard Adams be appointed as the Planning Commission's representative to the Zoning Board of Appeals.

For your reference, officers elected were:

Chair: Richard Adams
Vice-Chair: Ulrika Zay
Secretary: Andrew Powers

Suggested motion:

Motion that the Board of Trustees concur with the recommendation of the Planning Commission and appoint Richard Adams as the Planning Commission's representative to the Zoning Board of Appeals for a one-year term.

MEMORANDUM

TO: WATERTOWN TOWNSHIP BOARD OF TRUSTEES
FROM: ANDREA Z. POLVERENTO, PLANNING DIRECTOR
SUBJECT: RESOLUTION NO. 04-15-2024-01
DATE: 4/2/2024

James Lonier has requested to terminate a portion of an existing PA 116 agreement under one of several release options. The Michigan Department of Agriculture and Rural Development allows for a partial termination if a parcel is under two acres and at least one structure was present prior to the original execution date of the agreement.

The parcel in question is just under one acre in size, and the structure in question was built in approximately 1900, therefore, both conditions for a partial release are met. For MDARD to process a partial termination, a resolution from the local unit of government is required, along with statements from the tax assessor indicating the taxable value of the parcel to be released for the past seven years, and a statement indicating the structure predates the agreement.

A Resolution for a Partial Termination of a Farmland Development Rights agreement is attached. The statements from the tax assessor are also provided for your information.

**Resolution for a Partial Termination of a Farmland Development Rights Agreement
(With a pre-existing structure)**

WHEREAS, on March 15, 2024, a request was received from James Lonier for approval to have a certain parcel released from agreement number 19-6814-123125 which was executed in accordance with the provisions of PA 116 of 1974, commonly known as the Farmland and Open Space Preservation Act; and

WHEREAS, the township board has reviewed this request and determined that at least one structure located on the parcel was present prior to the original execution of said agreement; and

WHEREAS, the parcel proposed for release from the agreement is two acres or less in size; and

WHEREAS, the Township Board of Trustees finds that the request for release of the particular parcel is acceptable;

NOW THEREFORE BE IT RESOLVED by the Watertown Charter Township Board of Trustees as follows:

(1) That the township board hereby approves the request to release the following described piece of property from the PA 116 agreement:

Parcel No. 19-150-022-100-006-00, commonly known as 6275 W. Clark Road, Grand Ledge, MI 48837; the legal description being: A PARCEL NE 1/4 OF SEC 22, T5N, R3W, DESCRIBED AS: COMM AT NE CORNER OF SEC 22; TH N89°48'59"W ALONG THE N LINE OF SEC 22 1554.93 FT TO POB OF THIS DESCR; TH S02°51'35"W 181.61 FT; TH N89°48'59"W PARALLEL WITH N LINE 215.92 FT; TH N04°41'12"W 182.07 FT TO SAID N LINE; TH S89°48'59"E ALONG N LINE 239.86 FT TO POB; SUBJECT TO AN INGRESS & EGRESS EASEMENT FOR THE BENEFIT OF PARCEL B DESCR AS: COMM AT THE NE CORNER SEC 22; TH N89°48'59"W ALONG THE N LINE OF SEC 22 1592.30 FT TO POB OF THIS DESCR; TH S04°25'18"E 182.00 FT; TH N89°48'59"W PARALLEL N LINE 66.21 FT; TH N04°25'18"W 182.00 FT TO N LINE; TH S89°48'59"E ALONG N LINE 66.21 FT TO THE POB (SURVEY PARCEL C, SPLIT FROM 022-100-005-50)

(2) That the township board hereby certifies that at least one structure located on the certain piece of property was present prior to the original execution of said PA 116 agreement, that being in 2009, and the structure predating that by approximately 100 years.

(3) That the township clerk is hereby directed to transmit certified and sealed copies of this resolution to the person making the request and to the Farmland Unit of the MI Dept. of Agriculture.



March 28, 2024

John Maahs
Supervisor

State of Michigan
Department of Agriculture and Rural Development
Farmland Preservation Office

Carolyn Brokob
Clerk

PO Box 30449
Lansing, MI 48909

Susan Biergans
Treasurer

To whom it may concern:

I have been asked to determine if a structure has been located at 6275 W Clark Road, Lansing, MI for the period of a Farmland Agreement. The property is described as:

Chad Cooley
Trustee

A PARCEL NE 1/4 OF SEC 22, T5N, R3W, DESCRIBED AS: COMM AT NE CORNER OF SEC 22; TH N89°48'59"W ALONG THE N LINE OF SEC 22 1554.93 FT TO POB OF THIS DESCR; TH S02°51'35"W 181.61 FT; TH N89°48'59"W PARALLEL WITH N LINE 215.92 FT; TH N04°41'12"W 182.07 FT TO SAID N LINE; TH S89°48'59"E ALONG N LINE 239.86 FT TO POB; SUBJECT TO AN INGRESS & EGRESS EASEMENT FOR THE BENEFIT OF PARCEL B DESCR AS: COMM AT THE NE CORNER SEC 22; TH N89°48'59"W ALONG THE N LINE OF SEC 22 1592.30 FT TO POB OF THIS DESCR; TH S04°25'18"E 182.00 FT; TH N89°48'59"W PARALLEL N LINE 66.21 FT; TH N04°25'18"W 182.00 FT TO N LINE; TH S89°48'59"E ALONG N LINE 66.21 FT TO THE POB (SURVEY PARCEL C, SPLIT FROM 022-100-005-50)

Todd Hufnagel
Trustee

Holly Madill
Trustee

Ronald Overton
Trustee

The home on the property was built in 1900 and predates any agreement.

Jennifer Tubbs
Manager

Sincerely,

Jeff MacKenzie, Assessor

Andrea Polverento
Planning Director

JMacKenzie@watertownmi.gov
517-626-6593 ext. 210



March 28, 2024

John Maahs
Supervisor

State of Michigan
Department of Agriculture and Rural Development
Farmland Preservation Office

Carolyn Brokob
Clerk

PO Box 30449
Lansing, MI 48909

Susan Biergans
Treasurer

To whom it may concern:

I have been asked to provide the Taxable Value of the property at 6275 W. Clark Road, Lansing, MI 48906, for the last seven years. The property is described as:

Chad Cooley
Trustee

A PARCEL NE 1/4 OF SEC 22, T5N, R3W, DESCRIBED AS: COMM AT NE CORNER OF SEC 22; TH N89°48'59"W ALONG THE N LINE OF SEC 22 1554.93 FT TO POB OF THIS DESCR; TH S02°51'35"W 181.61 FT; TH N89°48'59"W PARALLEL WITH N LINE 215.92 FT; TH N04°41'12"W 182.07 FT TO SAID N LINE; TH S89°48'59"E ALONG N LINE 239.86 FT TO POB; SUBJECT TO AN INGRESS & EGRESS EASEMENT FOR THE BENEFIT OF PARCEL B DESCR AS: COMM AT THE NE CORNER SEC 22; TH N89°48'59"W ALONG THE N LINE OF SEC 22 1592.30 FT TO POB OF THIS DESCR; TH S04°25'18"E 182.00 FT; TH N89°48'59"W PARALLEL N LINE 66.21 FT; TH N04°25'18"W 182.00 FT TO N LINE; TH S89°48'59"E ALONG N LINE 66.21 FT TO THE POB (SURVEY PARCEL C, SPLIT FROM 022-100-005-50)

Todd Hufnagel
Trustee

Holly Madill
Trustee

Ronald Overton
Trustee

The Taxable Values are as follows:

Jennifer Tubbs
Manager

1. 2023 \$37,481
2. 2022 \$35,697
3. 2021 \$33,246
4. 2020 \$28,417
5. 2019 \$25,362
6. 2018 \$27,119
7. 2017 \$27,120

Andrea Polverento
Planning Director

Sincerely,


Jeff MacKenzie, Assessor

JMacKenzie@watertownmi.gov
517-626-6593 ext. 210

**Resolution for a Partial Termination of a Farmland Development Rights Agreement
(With a pre-existing structure)**

WHEREAS, on March 15, 2024, a request was received from James Lonier for approval to have a certain parcel released from agreement number 19-6814-123125 which was executed in accordance with the provisions of PA 116 of 1974, commonly known as the Farmland and Open Space Preservation Act; and

WHEREAS, the township board has reviewed this request and determined that at least one structure located on the parcel was present prior to the original execution of said agreement; and

WHEREAS, the parcel proposed for release from the agreement is two acres or less in size; and

WHEREAS, the Township Board of Trustees finds that the request for release of the particular parcel is acceptable;

NOW THEREFORE BE IT RESOLVED by the Watertown Charter Township Board of Trustees as follows:

(1) That the township board hereby approves the request to release the following described piece of property from the PA 116 agreement:

Parcel No. 19-150-022-100-006-00, commonly known as 6275 W. Clark Road, Grand Ledge, MI 48837; the legal description being: A PARCEL NE 1/4 OF SEC 22, T5N, R3W, DESCRIBED AS: COMM AT NE CORNER OF SEC 22; TH N89°48'59"W ALONG THE N LINE OF SEC 22 1554.93 FT TO POB OF THIS DESCR; TH S02°51'35"W 181.61 FT; TH N89°48'59"W PARALLEL WITH N LINE 215.92 FT; TH N04°41'12"W 182.07 FT TO SAID N LINE; TH S89°48'59"E ALONG N LINE 239.86 FT TO POB; SUBJECT TO AN INGRESS & EGRESS EASEMENT FOR THE BENEFIT OF PARCEL B DESCR AS: COMM AT THE NE CORNER SEC 22; TH N89°48'59"W ALONG THE N LINE OF SEC 22 1592.30 FT TO POB OF THIS DESCR; TH S04°25'18"E 182.00 FT; TH N89°48'59"W PARALLEL N LINE 66.21 FT; TH N04°25'18"W 182.00 FT TO N LINE; TH S89°48'59"E ALONG N LINE 66.21 FT TO THE POB (SURVEY PARCEL C, SPLIT FROM 022-100-005-50)

(2) That the township board hereby certifies that at least one structure located on the certain piece of property was present prior to the original execution of said PA 116 agreement, that being in 2009, and the structure predating that by approximately 100 years.

(3) That the township clerk is hereby directed to transmit certified and sealed copies of this resolution to the person making the request and to the Farmland Unit of the MI Dept. of Agriculture.

MEMORANDUM

TO: WATERTOWN TOWNSHIP BOARD OF TRUSTEES
FROM: ANDREA Z. POLVERENTO, PLANNING DIRECTOR
SUBJECT: CASE NO. 24-03 SLU -HOUSE OF PROMISE - 15275 FRANCIS ROAD
DATE: 4/9/2024

GENERAL INFORMATION

Applicant: Shari Montgomery

Status of Applicant: Owner/Operator

Existing Zoning: AG -Agricultural

Property Address/Location: 15275 Francis Road
Nos. 19-150-027-200-040-05, 19-150-027-200-041-00
To be combined

Parcel Size: 5.4 Acres

Present Land Use: Private Boarding School

Adjacent Uses: N - Agricultural
S - Industrial
E - Agricultural
W - Residential

Adjacent Zoning: N - AG – Agricultural
S - AG – Agricultural
E - AG – Agricultural
W - AP – Agricultural Preservation

This application, if approved, would amend SLUP No. 18-02 to include the proposed construction detailed below. The House of Promise (HOP) is a 501c3 nonprofit organization that provides survivors of sex abuse and sex trafficking educational opportunities, general care, and life skills. It is operated by Ms. Montgomery, Executive Director. The HOP provides this education, training, and counseling to help the women they serve relearn basic skills, and empower them to rebuild their lives and reintegrate into society. The House of Promise currently serves a maximum of 12 student residents. The HOP facility has been operating successfully in Watertown Township since Special Land Use Permit No. 18-02 was approved in January 2018.

House of Promise
Case No. 24-03 SLU

This request is to expand the campus of the House of Promise, which is regulated under the Township's Zoning Ordinance as a private boarding school. Proposed for construction with this application is a residential boarding facility, labeled as "Building A" on the attached site plan. The applicant has also provided an overall site plan for conceptual approval which includes two future additional residential boarding facilities and a community center. Buildings B, C, and D as shown on the site plan are not proposed for construction at this time.

Building A as proposed is 2,435 square feet on the main floor, with a finished lower level of 1,888 square feet, for a total finished square footage of 4,323. This building is designed to appear as a typical single-family home, to blend harmoniously with the general character of the area. It is proposed to have bedrooms to serve six occupants, with additional staff quarters.

This proposed facility is intended to provide some additional independence to those students who have completed a level of education, training, and counseling and have met certain benchmarks for eligibility for this opportunity. Students residing in this proposed facility may also take college courses outside of the House of Promise, and/or may have outside employment or be participating in job training.

STAFF OBSERVATIONS

Sec. 28-5.22.9.B., Off-street parking requirements, requires one parking space for each teacher and administrator. There are six teachers/administrators in the largest working shift. (There are additional parking requirements for schools which have auditoriums, none of which are included or proposed here.) The existing parking for the current use is adequate and functional. This proposed construction will have a 30' x 40' concrete pad with parking capacity for approximately six vehicles.

The property is fully surrounded by other property zoned AG and AP, therefore no landscaping buffer is required. There is existing landscaping on the property, with large trees in all yards. Since operation of this facility began six years ago, the landscaping has been maintained with a high level of care. The property has walking paths in the back yard, a fire pit, small pond and natural areas. Playground equipment or athletic fields typical of traditional schools are neither proposed nor necessary.

No signage is anticipated, but any which may be installed shall meet all requirements of the sign ordinance and permits must be obtained.

No fencing or gates are proposed. Outdoor lighting must meet the requirements of the ordinance.

Agency Review:

Francis Road is a county primary road, and the Road Commission has no objections to this application. Should any work be proposed to be completed in the right-of-way, permits will be required. *(CCRC Comments Attached)*

The Clinton County Building Department has issued a waiver for a Soil Erosion & Sedimentation Control permit for the proposed construction. *(Waiver Attached)*

House of Promise
Case No. 24-03 SLU

The Mid-Michigan District Health Department has been working closely with the applicant and their contractor regarding well and septic permits for this site. The site plan demonstrates the required isolation distances for all well, septic, and drainfield infrastructure. *(MMDHD Comments Attached)*

The Drain Commissioner's office provided comments related to the Stace Drain, where the flow from this property falls. They proposed a 6" dual wall perforated tile be installed along the proposed driveway as a more effective drainage approach rather than shallow ditching. Their office would like to see this installed during this phase of construction so it can be extended for future construction when necessary. Mr. Morrison also had comments related to drainage around the existing mound septic system and proposed future septic infrastructure. These comments were relayed to the MMDHD for comment, staff discussed this matter with MMDHD representatives, who indicated that the proposed septic infrastructure would be cut in at grade level and not be a mound system like that which serves the main building. *(CCDC Comments Attached)*

The Township's Building Official has reviewed the construction plans and had no comments or concerns. Building and trades permits will be required. The Clinton County Sheriff's Office was notified of the proposed expansion and had no comments.

The Looking Glass Regional Fire Authority responded after the Planning Commission meeting with some general information regarding fire requirements. None applied to this application, as there are no hydrants in the vicinity, and the building is under three stories.

This proposed construction does not affect any significant natural features which would necessitate any review or feedback from EGLE.

SPECIAL LAND USE REVIEW STANDARDS (Sec. 28-4.18 and 28-6.2.3)

Section 28-4.16 lists nine specific requirements that public and private schools must meet. Staff has not listed them in their entirety here, as many do not apply to this use, but has the following comments:

Requirements for placement of playground equipment, bus loading and unloading, and athletic fields do not apply.

This property is subject to a variance which affects three of the Special Land Use specific requirements. The minimum lot size for a public or private school is between 10-30 acres. Variance No. 17-09 authorized the use on the property in its current size and configuration. The main building is required to be set back 100 feet from any property line, a variance for the front yard setback for the main building in its location is in effect. The existing building is considered the main building. District setbacks for this proposed construction are met. Access driveways are required to be set back at least 75 feet from the intersection of any street or other driveway, a full waiver of this requirement is authorized by variance, which were approved in 2013 and renewed in 2018.

Other specific requirements include parking setbacks (50' front yard and 20' side/rear), which are met, and sidewalks required between the parking areas and the facility. The main concrete parking area abuts the existing main facility, a concrete driveway for this proposed construction provides adequate parking area and meets all setback requirements. The facility requires at least one entrance on a paved street, this requirement is met. The minimum lot frontage requirement of 200 feet is met.

The following standards are taken from Article 6 of the Zoning Ordinance, and are the basis for review by both Township staff, Planning Commission and Township Board. The Planning Commission and staff have reviewed each standard, and suggest the following conclusions:

General Review Standards. Each application shall be reviewed for the purpose of determining that the proposed special land use meets all of the general standards. Each special land use will:

- (A) Be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance, with the existing or intended character of the general vicinity and that such a use will not change the essential character of the area in which it is proposed;

Complies Does not Comply Condition of Approval Not Applicable

Comments: The proposed use meets this standard. The proposed construction is to be designed and constructed to resemble similar single-family residential buildings in the vicinity so as not to change the essential character of the area.

**Please see the DRAFT meeting minutes of the April 3, 2024 Planning Commission meeting, detailing Commissioner Zay's comments in which she disagrees that this standard has been met.*

- (B) Be served adequately by essential public facilities and services such as highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities;

Complies Does not Comply **Condition of Approval** Not Applicable

Comments: The proposed use is adequately served by highways and roads, and police and fire protection. There is no public water or sanitary sewer service available to the site, onsite well and septic facilities are adequate. The County Drain Commissioner provided minor comments relating to driveway drainage which are included as a proposed condition of approval.

- (C) Not create excessive additional requirements at public cost for public facilities and services;

Complies Does not Comply Condition of Approval Not Applicable

Comments: The proposed use is not expected to create excessive additional requirements at public cost.

- (D) Not involve uses, activities, processes, materials, and equipment or conditions of operation that will be detrimental to any persons, property or the general welfare by

House of Promise
Case No. 24-03 SLU

reason of excessive effects of traffic, noise, smoke, fumes, glare, or odors affecting adjacent properties, streets, or uses;

Complies Does not Comply **Condition of Approval** Not Applicable

Comments: The proposed use is expected to comply with this requirement; a condition of approval indicating as such has been included.

(E) The proposed use is so designed, located, planned and to be operated that the public health, safety and welfare will not be adversely impacted; and

Complies Does not Comply Condition of Approval Not Applicable

Comments: The proposed use is expected to comply with this requirement.

(F) The proposed use shall not be detrimental to existing and/or other permitted land uses in the zoning district.

Complies Does not Comply Condition of Approval Not Applicable

Comments: The proposed use is expected to comply with this requirement.

The Planning Commission recommends approval of Special Use Permit No. 24-03.

Staff offers the following motion for consideration:

Motion that the Board of Trustees **concur / disagree** with the recommendation of the Planning Commission and **approve / deny** Case No. 24-03 SLU for Shari Montgomery of the House of Promise, for an amendment to Special Land Use Permit No. 17-02, to authorize expansion of the campus of the House of Promise, in a phased approach, with Phase 1 of construction to include a 4,323 square foot boarding facility, and future phases to include two additional boarding facilities and a community center of similar size, in accordance with their existing permit to operate a private boarding school at 15275 Francis Road, in Section 27 of Watertown Charter Township, provided that conformance to conditions **1-__**, as noted below, are achieved to the satisfaction of the Township Zoning Administrator as being in accordance with the requirements of the Watertown Charter Township Zoning Ordinance.

Proposed Conditions of Approval for **Special Land Use Permit No. 24-03:**

1. The applicant shall maintain compliance with Variance No. 17-09.
2. The applicant shall receive approval for and maintain compliance with the final site plan.
3. The applicant shall comply with the requirements of the Mid-Michigan District Health Department.
4. The applicant shall comply with the recommendations of the Clinton County Drain Commissioner's office relating to driveway drainage.
5. Outdoor lighting shall comply with Section 28-5.18 of the Watertown Charter Township Zoning Ordinance.

House of Promise

Case No. 24-03 SLU

6. Any signage shall meet the requirements of the township’s sign ordinance and permits shall be obtained.
7. The applicant shall meet the requirements of the Township Building Official.
8. The applicant shall meet the requirements of the Looking Glass Regional Fire Authority and the Clinton County Sheriff, if applicable.
9. The proposed use shall not involve uses, activities, processes, materials, and equipment or conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive effects of traffic, noise, smoke, fumes, glare, or odors affecting adjacent properties, streets, or uses.
10. Applicant must comply with all applicable State, Federal and Township laws.

ATTACHMENTS

1. Application
2. Site Plan
3. Agency review responses (4)
4. Written comments received (2)
5. DRAFT Planning Commission Regular Meeting minutes of April 3, 2024

**Personal contact information of private citizens has been redacted from the attachments*



12803 S. Wacousta Rd., Grand Ledge, MI 48837

517-626-6593

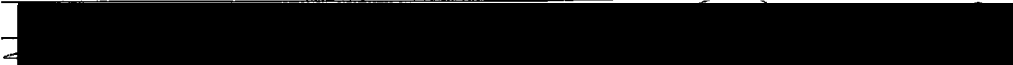



517-626-6405 Fax

www.watertowntownship.com

Application for Special Land Use Permit

Page 1 of 2

This application must be accompanied by a completed application for Site Plan Review

Applicant Name House of Promise
 Applicant Address 15275 Fernald Rd
 City/State/Zip Lansing, Mich 48906
 Office Phone SWD 
 Cell Phone 
 Fax 
 Email 

Permit Address 15275 Fernald Rd
 City/State/Zip Lansing, Mich 48906
 Parcel # 19-150-027-200-041-00 AND 19-150-027-200-040-05
 Zoning District AG - AGRICULTURAL

All questions must be answered completely.

If additional space is needed, number and attach additional sheets. Number of attached sheets: _____

What is the proposed use?
HOUSING AND RESOURCES FOR VICTIMS OF TRAFFICKING
TO INCLUDE: HOUSING, COUNSELING, EMPLOYMENT

What is the existing use of the property?
HOUSING AND COUNSELING FOR VICTIMS OF TRAFFICKING

Please make a statement of justification for the requested action.
HOUSE OF PROMISE IS RECEIVING CONTINUOUS PRESSURE FROM
THE COURTS AND LAW ENFORCEMENT TO EXPAND THEIR
HOUSING STOCK AND PROVIDE ADDITIONAL RESOURCES FOR
A DRASTICALLY UNOBSERVED PORTION OF THE AREA

What effects and hazards might this proposed use cause neighboring properties? Specify any expected noise, smoke, fumes, glare, odors or excessive traffic.
NONE ANTICIPATED. THE EXISTING FACILITIES HAVE
BEEN RECEIVED BY THE COMMUNITY WITH NO ISSUES
AS EVIDENCED BY THE WIDESPREAD SUPPORT IT RECEIVES

Staff use only:
 Case Number _____ Date Filed _____ Fee _____ Receipt # _____

2/7/24 Shari dropping off at trap

Application for Special Land Use Permit

Page 2 of 2

What effects and hazards might the proposed use cause to natural resources, including disturbances caused by the project?

NONE

Is the proposed use generally compliant with the land use policies outlined in the Master Plan? Please explain.

YES.

How will the proposed use be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general area?

THE FACILITY WILL BE BUILT IN A RESIDENTIAL RESIDENTIAL FASHION WITH UPSCALE LANDSCAPING AND SEASIDE REFINEMENT OF NEAR RESIDENTIAL DEVELOPMENTS IN WATERTOWN TOWNSHIP

How will the special land use be served adequately by essential public facilities and services such as highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities?

- 1) CLOSE PROXIMITY TO HIGHWAY BY I-69 WITHIN 1/2 MILE
- 2) MODERN PLASTE SEWAGE DISPOSAL SYSTEMS AND 5" WELLS
- 3) FIRE PROTECTION WITHIN 2 MILES @ 1974 W GRAND RIVER AVE
- 4) GRABBER WASTE SERVICES AVAILABLE TO THE SITE
- 5) WATERTOWN TOWNSHIP OFFICES WITHIN 8 MILES OF FACILITY

State of Michigan }
County of Clinton }

Affidavit

The affiant is the owner, (owner, lessee, specify other) involved in this application; and that if this request is granted, in accordance with the Watertown Zoning Ordinance, actual use in accordance with the plans herewith submitted will be begun within twelve months from the date of the granting of a Special Land Use Permit, and that the affiant is able from a legal, financial, and physical bases to do so; and that the answers and statements herein contained and the information herewith submitted are in all respects true and correct to the best of the affiant's knowledge and belief; and the affiant will comply with all conditions placed upon this proposed use by the Planning Commission, if the Special Land Use Permit is approved.

Shawn Montgomery
Applicant Signature

2-7-24
Date

Becky Reed
Notary Signature

2/7/2024
Date

Subscribed and sworn to me this 7 day of February 2024
My Commission Expires 1/2/2025

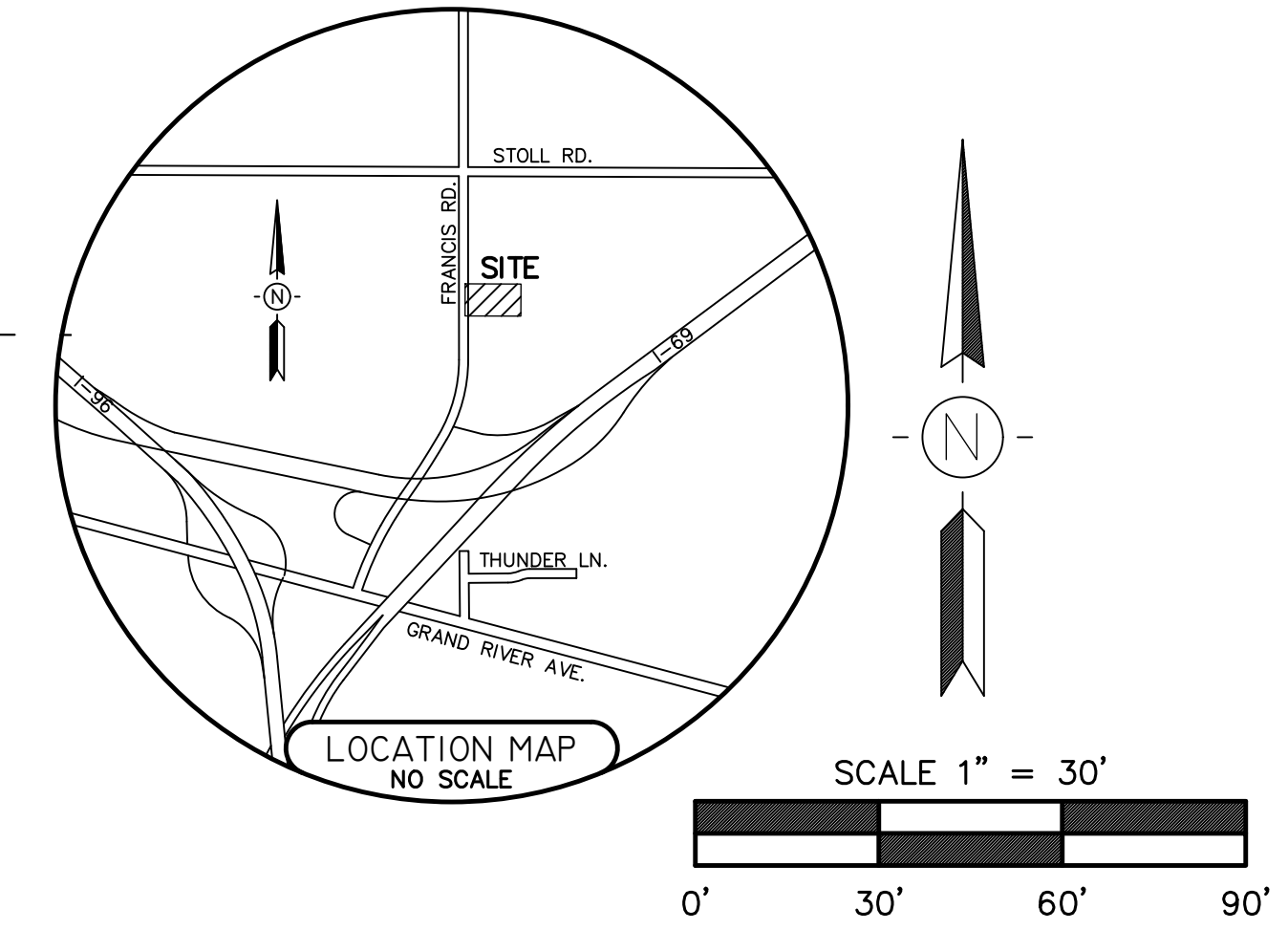
BECKY REED
Notary Public, State of Michigan
County of Clinton
My Commission Expires 01-02-2025
Acting in the County of Clinton

OWNER/APPLICANT
 SHARI MONTGOMERY
 15275 FRANCIS ROAD
 LIS G. L. 8906

ENGINEER/SURVEYOR:
 KEBS, INC.
 2116 HASLETT RD.
 HASLETT, MI. 48840
 PH: (517) 339-1014

HOUSE OF PROMISE

WATERTOWN TOWNSHIP, CLINTON COUNTY, MICHIGAN



SITE DATA
 PROPOSED 4 BUILDINGS WITH DRIVE TO FRANCIS ROAD

SITE ADDRESS: 15275 FRANCIS ROAD
 TAX ID: 150-027-200-040-05 AND 041-00
 SITE AREA: 237,500 SF = 5.45 ACRES

ZONED: AG - AGRICULTURAL

BUILDING SETBACKS

FRONT - 50 FEET
 SIDES - 30 FEET
 REAR - 50 FEET

BUILDING/UNIT DATA

EXISTING AREA: ±4,215
 PROPOSED AREA: 2,860 (4 PROP. BUILDINGS)
 PROPOSED AREA TOTAL: 2,860 sf x 4 = 11,440 sf
 TOTAL BUILDING AREA: 11,440 sf + 4,994 sf = 16,434 sf
 MAX. BUILDING HEIGHT = 35 FT.
 MAX. LOT COVERAGE = 10%
 = 16,434 SF/237,500 SF = 6.92%

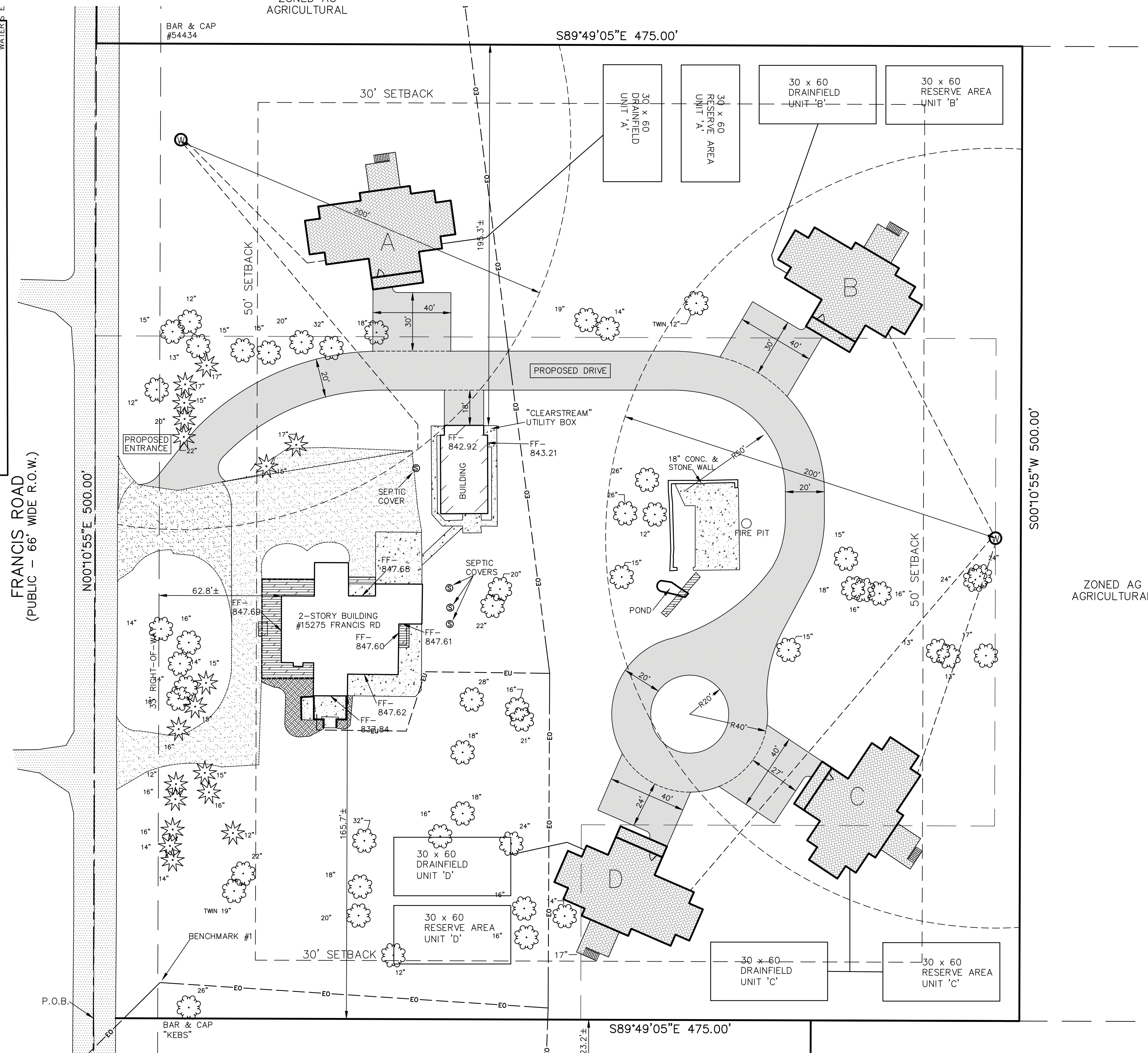
PARKING

4 DRIVEWAY SPACES PER BUILDING

TOTAL PROVIDED = 16 SPACES

UTILITIES

PROPOSED SEPTIC LOCATIONS
 PROPOSED WELL LOCATIONS



LEGAL DESCRIPTION:

Parcel 1:
 A parcel of land in the Northwest 1/4 of Section 27, T5N, R3W, Watertown Township, Clinton County, Michigan, the surveyed boundary of said parcel described as: Commencing at the West 1/4 corner of said Section 27; thence North along the West line of said Section 27 a distance of 808.50 feet to the point of beginning of this description; thence continuing N00°05'55"W along said West line 350.00 feet; thence N89°54'05"E perpendicular to said West line 462.00 feet; thence S00°05'55"E parallel with said West line 250.00 feet; thence S89°45'05"W perpendicular to said West line 212.00; thence S00°05'55"E parallel with said West line 100.00 feet; thence S89°54'05"W perpendicular to said West line 250.00 feet to the point of beginning.

Parcel 2:
 A parcel of land in the Northwest 1/4 of Section 27, T5N, R3W, Watertown Township, Clinton County, Michigan, the surveyed boundary of said parcel described as: Commencing at the West 1/4 corner of said Section 27; thence North along the West line of said Section 27 a distance of 1158.50 feet to the point of beginning of this description; thence North continuing along said West line 150.00 feet; thence East perpendicular to said West line 475.00 feet; thence South parallel with said West line 500.00 feet; thence West perpendicular to said West line 225.00; thence North parallel with said West line 100.00 feet; thence East perpendicular to said West line 212.00 feet; thence North parallel with said West line 250.00 feet; thence West perpendicular to said West line 462.00 feet to the point of beginning.

Parcels 1 & 2 total 5.45 Acres

SURVEYOR'S NOTES:

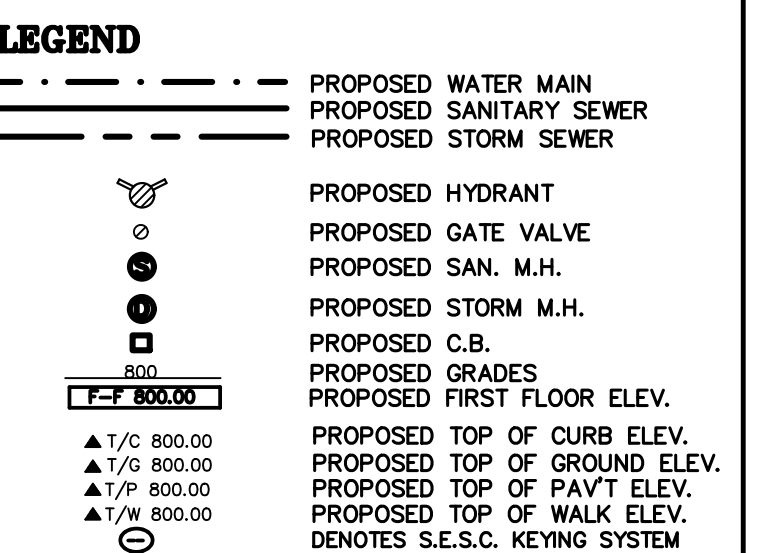
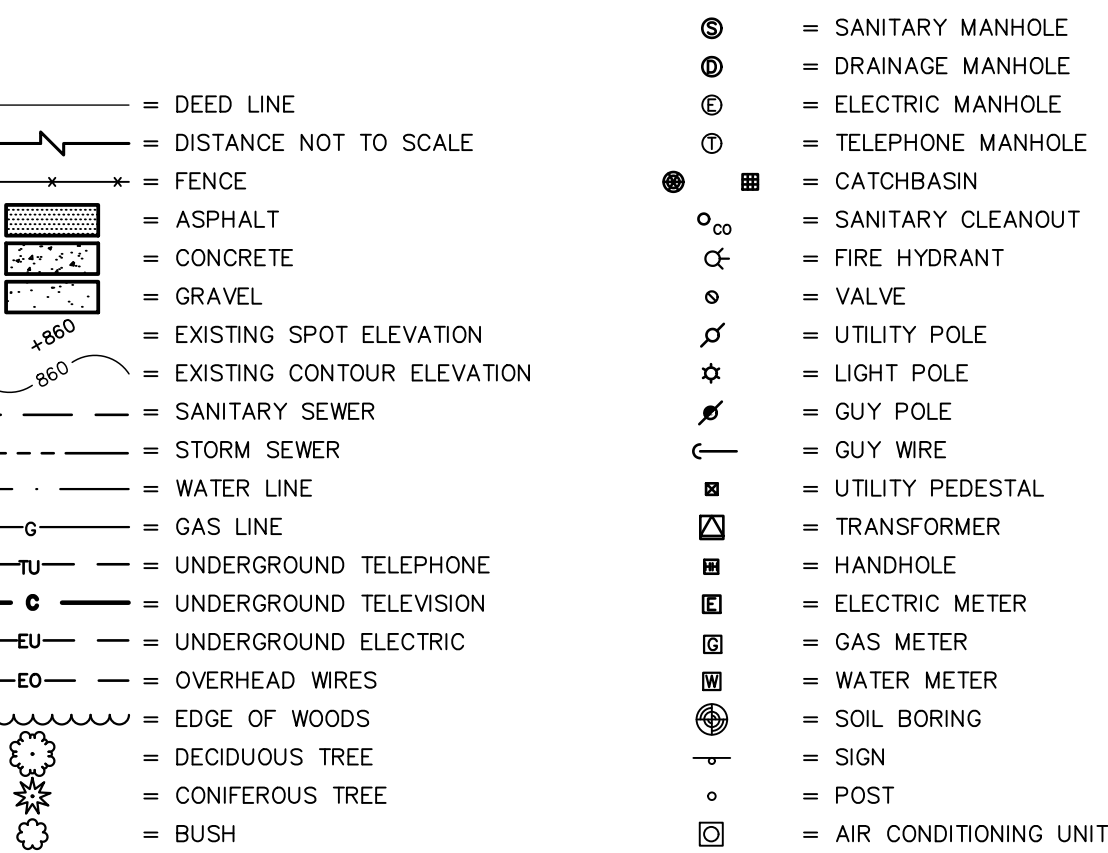
1. This plan was made at the direction of the parties named hereon and is intended solely for their immediate use. Survey prepared from fieldwork performed in June 2022.
2. All bearings are Michigan State Plane South Zone grid bearings obtained from GPS observations using corrections obtained from the nearest National Geodetic Survey C.O.R.S. station.
3. All dimensions shown are as measured and as recorded unless otherwise noted.
4. All elevations are North American Vertical Datum of 1988 (NAVD88).
5. All dimensions are in feet and decimals thereof.
6. No building tie dimensions are to be used for establishing the property lines.
7. Easements, if any, not shown hereon.
8. By scaled map location and graphic plotting only, this property lies entirely within Flood Zone "X", areas outside the 0.2% annual chance floodplain, according to the National Flood Insurance Program, Flood Insurance Rate Map for the Charter Township of Watertown, Clinton County, Michigan, Community Panel No. 260291 0291 D, dated May 3, 2011.
9. Utility information as shown was obtained from available public records and from supporting field observations, where possible, and is subject to verification in the field by the appropriate authorities prior to use for construction. MISS DIG was not contacted to mark utilities on site.
10. Wetlands, if any, not shown hereon.

BENCHMARKS

BENCHMARK #1 ELEV. = 842.78 (NAVD88)
 PK NAIL IN NORTHEAST SIDE UTILITY POLE, 22' EAST OF EAST EDGE OF FRANCIS ROAD, 107' SOUTH OF SOUTHERLY GRAVEL DRIVE OF HOUSE #15275 FRANCIS RD, 125' NORTH OF NORTHERLY ASPHALT DRIVE OF HOUSE #15365 FRANCIS RD

BENCHMARK #2 ELEV. = 842.78 (NAVD88)
 PK NAIL IN WEST SIDE UTILITY POLE, 168' EAST OF EAST EDGE OF FRANCIS ROAD, 300' NORTH OF NORTHERLY GRAVEL DRIVE OF HOUSE #15275 FRANCIS RD

EX. LEGEND



SHEET INDEX

1. SITE & UTILITY PLAN
2. EXISTING CONDITIONS & DEMOLITION PLAN
3. STORM SEWER & GRADING PLAN
4. SESC PLAN



REVISIONS		DESIGNER:		APPROVED BY:	
4-10-23	SKETCH	GAP		GAP	
4-20-23	SKETCH	GAP		GAP	
6-20-23	SITE PLAN	GAP		GAP	
1-16-23	SKETCH	GAP		GAP	
2-20-24	SITE PLAN SUBMITTAL	GAP		GAP	

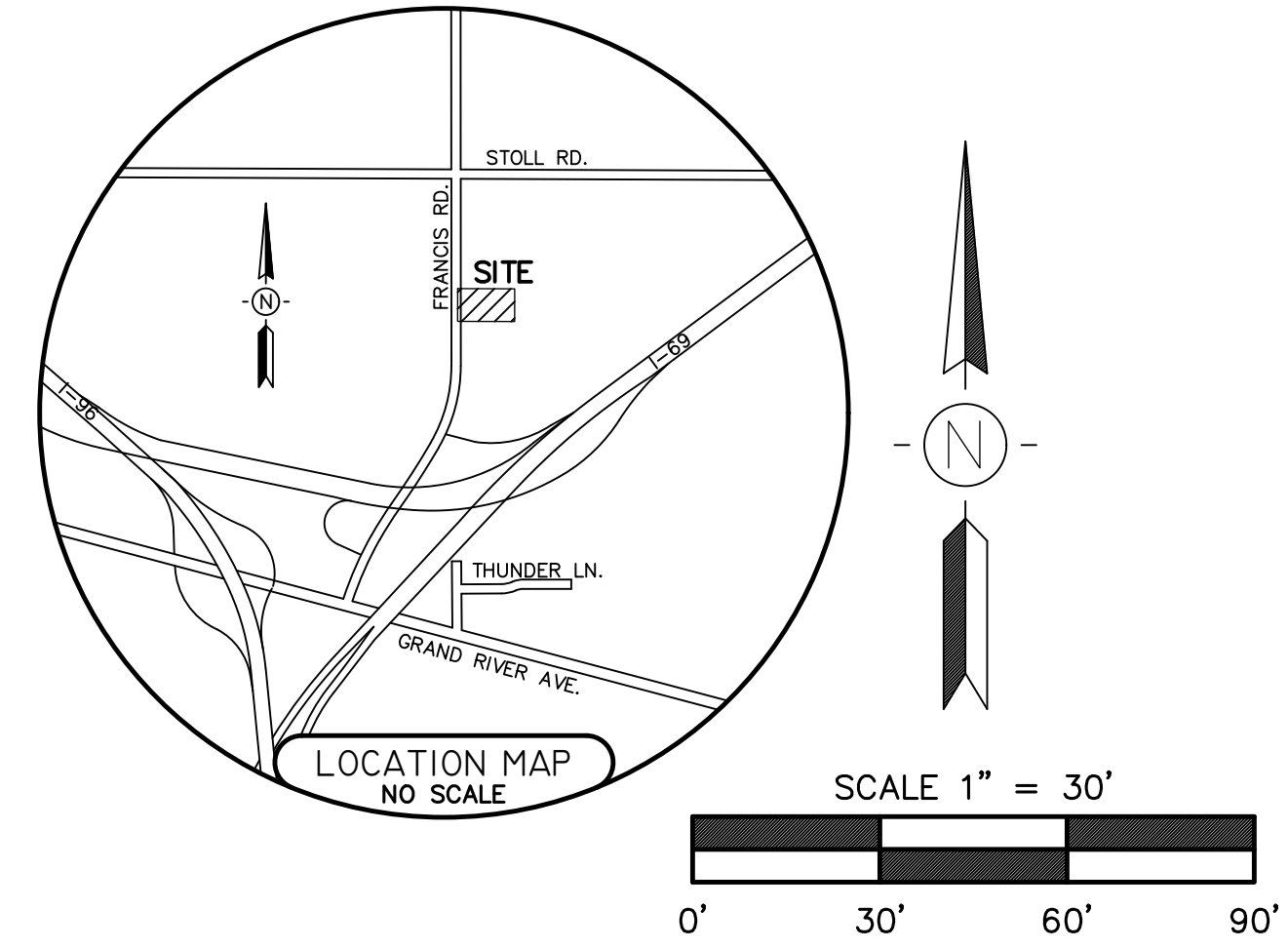
KEBS, INC. KYES ENGINEERING
 BRYAN LAND SURVEYS
 2116 HASLETT ROAD, HASLETT, MI 48840
 PH. 517-339-1014 FAX. 517-339-8047
 Marshall Office
 Ph. 269-781-9800

HOUSE OF PROMISE
 SITE AND UTILITY PLAN

SCALE: 1" = 30'	DESIGNER: GAP	APPROVED BY: GAP
DATE: 11-10-22	PROJECT MGR. GAP	SHEET 1 OF 4
AUTHORIZED BY: TOM MOTZ		JOB #: E-100688

HOUSE OF PROMISE

WATERTOWN TOWNSHIP, CLINTON COUNTY, MICHIGAN



DEMOLITION NOTES:
 A DEMOLITION PERMIT IS REQUIRED, CONTRACTOR SHALL APPLY FOR AND RECEIVE PRIOR TO ANY DEMOLITION.

ALL UTILITIES MUST BE PROPERLY SHUT OFF/CAPPED AND/OR REMOVED PRIOR TO STARTING, VERIFY WITH UTILITY COMPANIES AND WITH WATERTOWN TOWNSHIP.

ALL EX. STRUCTURES AND ANY FOUNDATIONS SHALL BE REMOVED FROM THE SITE.

DEMOLITION CONTRACTOR SHALL REVIEW ANY ENVIRONMENTAL REPORTS AND DISPOSE OF ALL EXISTING AND REMOVED MATERIALS AS REQUIRED BY ENVIRONMENTAL REPORT AND RECOMMENDATIONS.

CONTRACTOR IS RESPONSIBLE FOR COMPLETE DEMOLITION OF ALL ITEMS WITHIN DEMOLITION LIMITS, INCLUDING ITEMS THAT MAY NOT BE SPECIFICALLY SHOWN. IF CONTRACTOR HAS ANY DEMOLITION QUESTIONS THEY SHALL BE REQUESTED TO OWNER/ENGINEER PRIOR TO STARTING WORK.

GENERAL

- Any unstable soil (such as peat, muck, marl, soft blue clay, topsoil, etc.) which is encountered beneath proposed utilities, parking lots and structures, drives and buildings shall be removed down to sound subsoil and backfilled with sand and gravel as needed to reach finished grade. Such fill shall be compacted in 6" layers to 95% of max. density. The decision on material for bedding and backfill shall be made by the Engineer.
- Information on depth, size, etc., of all other underground utilities shown herein is plan information only, obtained from the utility company involved. Prior to any final designing or construction, it is recommended that all utility companies, agencies, departments, etc., involved be contacted for verification of such locations.
- The locations, size and elevation of sewers and related structures shown herein, were obtained through a survey completed by KEBS, Inc. KEBS Inc. is not responsible for information on any other sewers, drains or related structures that were not found and not shown hereon, that may cross, parallel, lie contiguous to or service this site.
- For protection of underground utilities, the contractor shall dial 800-482-7171 a minimum of 72 hours prior to excavating in the vicinity of utility lines. All "MISS DIG" participating members will thus be routinely notified. This does not relieve the contractor of the responsibility of notifying utility owners who may not be a part of the "MISS DIG" alert system.
- All existing roads, driveways and yards disturbed during construction shall be restored by the contractor to its original condition.
- All sewer pipe shall be bedded with CL III granular material. Class material shall be used in backfilling all sewer trenches to 1' above the sewer pipe.
- All compaction of trenches within the roadways shall be to 95% density. Equipment such as a small dozer in the trenches and a hoe-pack around the structures will be required, or equipment capable of reaching 95% density.
- Contractor shall be responsible for obtaining all permits required for construction.

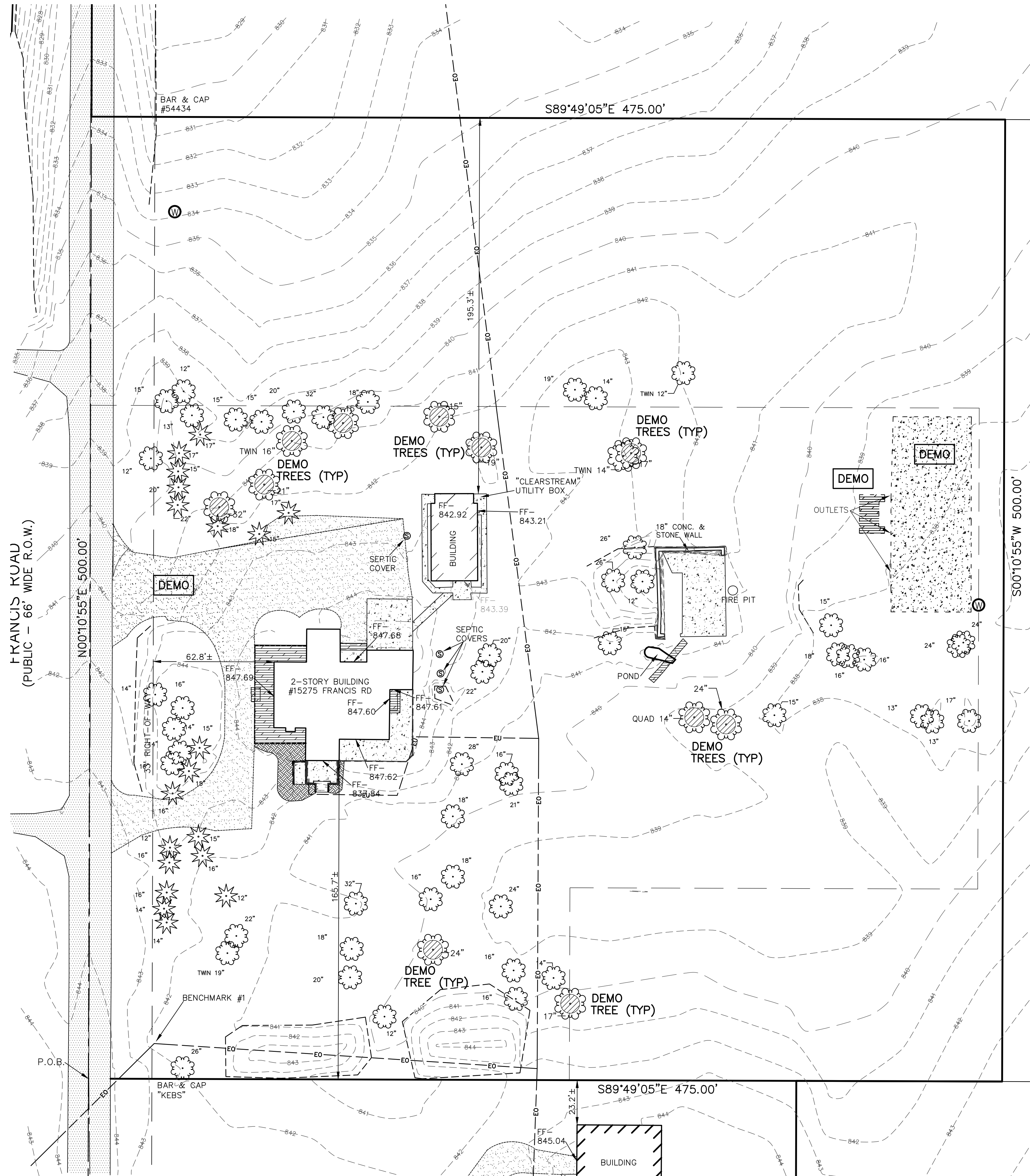
BENCHMARKS

BENCHMARK #1 ELEV. = 842.78 (NAVD88)
 PK NAIL IN NORTHEAST SIDE UTILITY POLE, 22' EAST OF EAST EDGE OF FRANCIS ROAD, 107' SOUTH OF SOUTHERLY GRAVEL DRIVE OF HOUSE #15275 FRANCIS RD, 125' NORTH OF NORTHERLY ASPHALT DRIVE OF HOUSE #1395 FRANCIS RD

BENCHMARK #2 ELEV. = 842.78 (NAVD88)
 PK NAIL IN WEST SIDE UTILITY POLE, 168' EAST OF EAST EDGE OF FRANCIS ROAD, 300' NORTH OF NORTHERLY GRAVEL DRIVE OF HOUSE #15275 FRANCIS RD

EX. LEGEND

- = DEED LINE
- = DISTANCE NOT TO SCALE
- = FENCE
- = ASPHALT
- = CONCRETE
- = GRAVEL
- = EXISTING SPOT ELEVATION
- = EXISTING CONTOUR ELEVATION
- = SANITARY SEWER
- = STORM SEWER
- = WATER LINE
- = GAS LINE
- = UNDERGROUND TELEPHONE
- = UNDERGROUND TELEVISION
- = UNDERGROUND ELECTRIC
- = OVERHEAD WIRES
- = EDGE OF WOODS
- ⊙ = SANITARY MANHOLE
- ⊕ = DRAINAGE MANHOLE
- ⊖ = ELECTRIC MANHOLE
- ⊗ = TELEPHONE MANHOLE
- ⊘ = CATCHBASIN
- ⊙ = SANITARY CLEANOUT
- ⊙ = FIRE HYDRANT
- ⊙ = VALVE
- ⊙ = UTILITY POLE
- ⊙ = LIGHT POLE
- ⊙ = QUY POLE
- ⊙ = QUY WIRE
- ⊙ = UTILITY PEDESTAL
- ⊙ = TRANSFORMER
- ⊙ = HANDHOLE
- ⊙ = ELECTRIC METER
- ⊙ = GAS METER
- ⊙ = WATER METER
- ⊙ = SOIL BORING
- ⊙ = SIGN
- ⊙ = POST
- ⊙ = AIR CONDITIONING UNIT



LEGAL DESCRIPTION:

Parcel 1:
 A parcel of land in the Northwest 1/4 of Section 27, T5N, R3W, Watertown Township, Clinton County, Michigan, the surveyed boundary of said parcel described as: Commencing at the West 1/4 corner of said Section 27; thence N00°05'55"W along the West line of said Section 27 a distance of 808.50 feet to the point of beginning of this description; thence continuing N00°05'55"W along said West line 350.00 feet; thence N89°54'05"E perpendicular to said West line 462.00 feet; thence S00°05'55"E parallel with said West line 250.00 feet; thence S89°54'05"W perpendicular to said West line 212.00; thence S00°05'55"E parallel with said West line 100.00 feet; thence S89°54'05"W perpendicular to said West line 250.00 feet to the point of beginning.

Parcel 2:
 A parcel of land in the Northwest 1/4 of Section 27, T5N, R3W, Watertown Township, Clinton County, Michigan, the surveyed boundary of said parcel described as: Commencing at the West 1/4 corner of said Section 27; thence North along the West line of said Section 27 a distance of 1158.50 feet to the point of beginning of this description; thence North continuing along said West line 150.00 feet; thence East perpendicular to said West line 475.00 feet; thence South parallel with said West line 500.00 feet; thence West perpendicular to said West line 225.00; thence North parallel with said West line 100.00 feet; thence East perpendicular to said West line 212.00 feet; thence North parallel with said West line 250.00 feet; thence West perpendicular to said West line 462.00 feet to the point of beginning.

Parcels 1 & 2 total 5.45 Acres

SURVEYOR'S NOTES:

- This plan was made at the direction of the parties named hereon and is intended solely for their immediate use. Survey prepared from fieldwork performed in June 2022.
- All bearings are Michigan State Plane South Zone grid bearings obtained from GPS observations using corrections obtained from the nearest National Geodetic Survey C.O.R.S. station.
- All dimensions shown are as measured and as recorded unless otherwise noted.
- All elevations are North American Vertical Datum of 1988 (NAVD88).
- All dimensions are in feet and decimals thereof.
- No building tie dimensions are to be used for establishing the property lines.
- Easements, if any, not shown hereon.
- By scaled map location and graphic plotting only, this property lies entirely within Flood Zone "X", areas outside the 0.2% annual chance floodplain, according to the National Flood Insurance Program, Flood Insurance Rate Map for the Charter Township of Watertown, Clinton County, Michigan, Community Panel No. 260291 0291 D, dated May 3, 2011.
- Utility information as shown was obtained from available public records and from supporting field observations, where possible, and is subject to verification in the field by the appropriate authorities prior to use for construction. MISS DIG was not contacted to mark utilities on site.
- Wetlands, if any, not shown hereon.

	REVISIONS 4-10-23 SKETCH 4-20-23 SKETCH 6-20-23 SITE PLAN 2-20-24 SITE PLAN SUBMITTAL	<p>KEBS, INC. KYES ENGINEERING BRYAN LAND SURVEYS 2116 HASLETT ROAD, HASLETT, MI 48840 PH. 517-339-1014 FAX. 517-339-8047 Marshall Office Ph. 269-781-9800</p>	HOUSE OF PROMISE EX. CONDITIONS & DEMOLITION PLAN	
	SCALE: 1" = 30' DATE: 11-10-22 AUTHORIZED BY: TOM MOTZ			DESIGNER: G.A.P. PROJECT MGR. G.A.P. SHEET 2 OF 4 JOB #: E-100688
	APPROVED BY: G.A.P.			

HOUSE OF PROMISE

WATERTOWN TOWNSHIP, CLINTON COUNTY, MICHIGAN

STREET SWEEPING NOTES:
FRANCIS ROAD SHALL BE KEPT CLEAN AND FREE OF TRACKED SEDIMENT. A STREET SWEEPER OR A BOBCAT WITH A BROOM ATTACHMENT SHOULD BE KEPT ON SITE TO DEAL WITH ANY OFF-SITE TRACKING AS IT OCCURS.

MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET

S-R-S-C KEYING SYSTEM

KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
E8	PERMANENT SEEDING		Stabilization method utilized on sites where earth change has been completed (final grading attained).
S51	SILT FENCE		Use adjacent to critical areas, to prevent sediment laden sheet flow from entering these areas.
S53	STABILIZED CONSTRUCTION ACCESS		Used at every point where construction traffic enters or leaves a construction site.
S58	INLET PROTECTION FABRIC DROP		Use at stormwater inlets, especially at construction sites.

PERMANENT SEEDING SPECIFICATIONS (E8)

When: To finalize stabilization of temporary seeding areas or when an area needs permanent stabilization following completion of construction. Also used when vegetative establishment can correct existing soil erosion or sedimentation problem.

Why: To stabilize soil and prevent or reduce soil erosion/sedimentation problems from developing.

Where: Used on construction and earth change sites which require permanent vegetative stabilization.

How:

- Review SESC plan and construction phasing to identify areas in need of permanent vegetative stabilization.
- Select perennial grass and ground cover for permanent cover. Seed mixes vary. However, they should contain native species.
- Seed mixes should be selected through consultation with a certified seed provider and with consideration of soil types, light, moisture, use applications, and native species content.
- Soil tests should be performed to determine the nutrient and pH levels in the soil. The pH may need to be adjusted to between 6.5 and 7.0.
- Prepare a 3-5" deep seedbed, with the top 3-4" consisting of topsoil.
- Slopes steeper than 1:3 should be roughened.
- Apply seed as soon as possible after seedbed preparation. Seed may be broadcast by hand, hydroseeding, or by using mechanical drills.
- Mulch immediately after seeding.
- Dormant seed mixes are for use after the growing season, using seed which lies dormant in the winter and begins growing as soon as site conditions become favorable.

PERMANENT SEEDING SPECIFICATIONS (E8) (cont.)

Maintenance: Inspect weekly and within 24 hours following each rain event in the first few months following installation to be sure seed has germinated and permanent vegetative cover is being established. Add supplemental seed as necessary.

Limitations: Seeds need adequate time to establish. May not be appropriate in areas with frequent traffic. Seeded areas may require irrigation during dry periods. Seeding success is site specific, consider mulching or sodding when necessary.

PERMANENT SEEDING SPECIFICATION: SEED ALL DISTURBED AREAS WITH THE FOLLOWING SEED MIXTURE OR APPROVED EQUAL. MICHIGAN GREEN - 10% BLUEGRASS, 40% FESCUE, 40% PERENNIAL GRASS. APPLY AT A RATE OF 5 LBS./1000 SF.

RIPRAP SPECIFICATIONS (E12)

When: When concentrated water flows have the potential to create scour, over-cutting, or lateral cutting.

Why: To prevent loss of land or damage to utilities or structures. In specific applications, riprap is used to control channel meander and maintain capacity, protect against wave attack, and reduce sediment load.

Where: In natural or constructed channels with areas susceptible to erosion from the action of water, ice, or debris, or to damage by livestock or vehicular traffic. In shoreline areas where the erosion problem may be solved through simple structural measures. On slopes with profiles measuring 1:1.5 or less.

How:

- Review subject site to identify areas subject to concentrated flows or wave/current attack.
- The appropriateness and extent of riprap placement is site specific and should be determined in the field.
- The area under review for riprap placement must be shaped and contoured appropriately by grading prior to material placement.
- Non-woven geotextile fabric should be installed prior to riprap placement, with upper end and toe end of fabric buried or anchored to prevent movement.
- Riprap placement should be started at a stabilized location and ended at a stabilized or contoured point.
- Material selected for riprap should be hard, angular, and resistant to weathering. Appropriate material size depends on expected water energy and intended function of the material.

RIPRAP SPECIFICATIONS (E12) (cont.)

7. Riprap mixture should be an even mixture of stone sizes based on the average, or D_{50} . This means 50% of the stone, by size, will be larger than the diameter specified, and 50% will be smaller than the size specified. The diameter of the largest stone should not be more than 1.5 times the D_{50} stone size.

8. See table on the following page for typical riprap stone sizes.

9. Rock shall be placed so that larger rocks are uniformly distributed and in contact with one another. Smaller rocks should fill the voids.

10. When in contact with moving water, riprap will lie into a stable bank at the downstream end and will be laid into the bank at the upstream end. Riprap should extend 3 ft. above the ordinary high water mark or to the top of the bank on short slopes. Extend riprap a minimum 10 ft. beyond active erosion area.

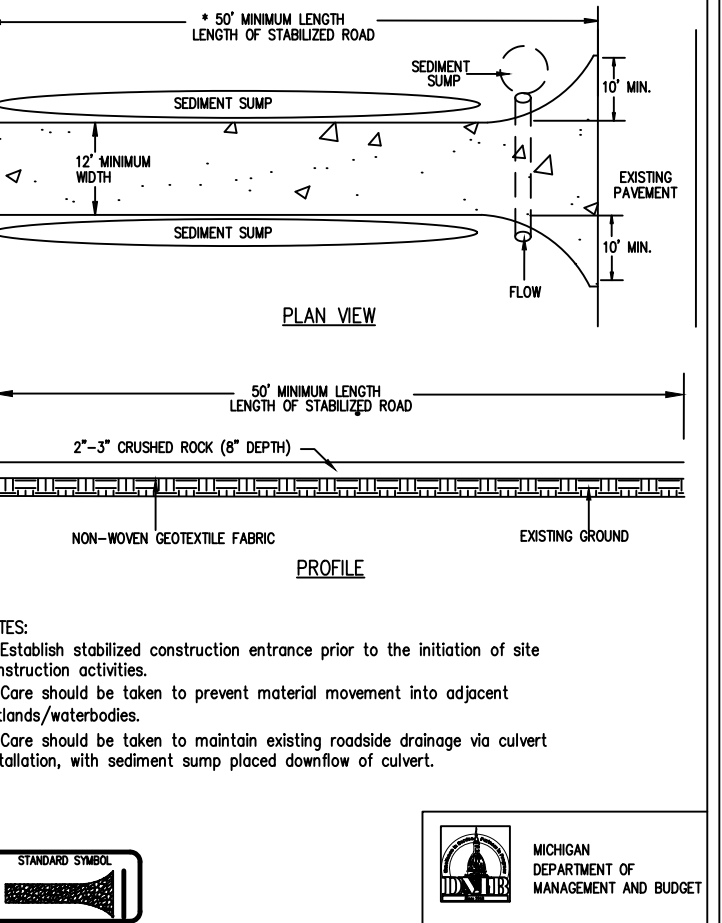
Maintenance: All installations should be inspected immediately after the first rainfall to confirm the stability of the placed material. Follow-up inspections should occur regularly and provisions made for prompt repair if needed.

Limitations: Area is cleared prior to the addition of riprap, therefore no areas are preserved with native vegetation.

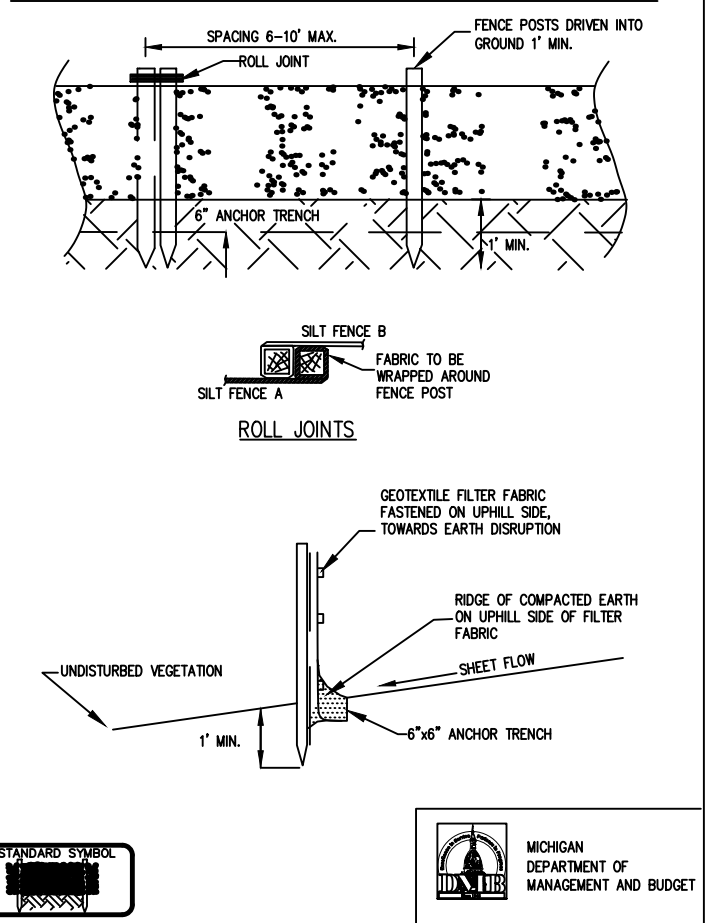
Flow Velocity (ft/s)	Typical Riprap Stone Size (in)	Minimum Riprap Stone Size (in)	Maximum Riprap Stone Size (in)
0-1	1.5	1.0	2.0
1-2	2.0	1.5	3.0
2-3	3.0	2.0	4.5
3-4	4.5	3.0	6.0
4-5	6.0	4.5	7.5
5-6	7.5	6.0	9.0
6-7	9.0	7.5	10.5
7-8	10.5	9.0	12.0
8-9	12.0	10.5	13.5
9-10	13.5	12.0	15.0

Source: Adapted from USACE

STABILIZED CONSTRUCTION ACCESS (S53)



SILT FENCE (S51)



EX. LEGEND

- = DEED LINE
- = DISTANCE NOT TO SCALE
- = FENCE
- = ASPHALT
- = CONCRETE
- = GRAVEL
- = EXISTING SPOT ELEVATION
- = EXISTING CONTOUR ELEVATION
- = SANITARY SEWER
- = STORM SEWER
- = WATER LINE
- = GAS LINE
- = UNDERGROUND TELEPHONE
- = UNDERGROUND TELEVISION
- = UNDERGROUND ELECTRIC
- = OVERHEAD WIRES
- = EDGE OF WOODS
- = SANITARY MANHOLE
- = DRAINAGE MANHOLE
- = ELECTRIC MANHOLE
- = TELEPHONE MANHOLE
- = CATCHBASIN
- = SANITARY CLEANOUT
- = FIRE HYDRANT
- = VALVE
- = UTILITY POLE
- = LIGHT POLE
- = GUY POLE
- = GUY WIRE
- = UTILITY PEDESTAL
- = TRANSFORMER
- = HANDHOLE
- = ELECTRIC METER
- = GAS METER
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- = POST
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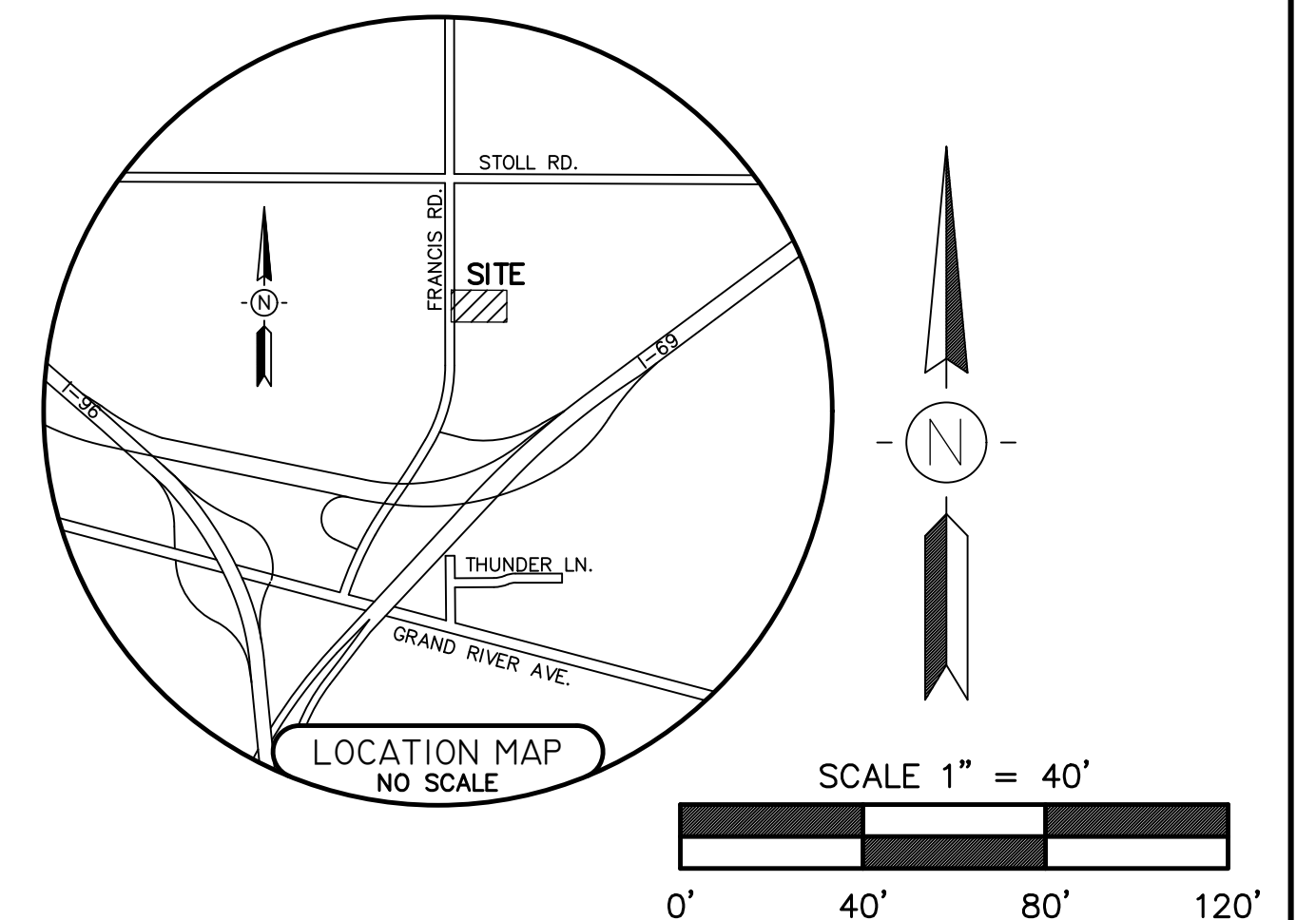
- ### LEGEND
- = PROPOSED WATER MAIN
 - = PROPOSED SANITARY SEWER
 - = PROPOSED STORM SEWER
 - = PROPOSED HYDRANT
 - = PROPOSED GATE VALVE
 - = PROPOSED SAN. M.H.
 - = PROPOSED STORM M.H.
 - = PROPOSED C.B.
 - = PROPOSED GRADES
 - = PROPOSED FIRST FLOOR ELEV.
 - = PROPOSED TOP OF CURB ELEV.
 - = PROPOSED TOP OF GROUND ELEV.
 - = PROPOSED TOP OF PAVT ELEV.
 - = PROPOSED TOP OF WALK ELEV.
 - = DENOTES S.E.S.C. KEYING SYSTEM

BENCHMARKS

BENCHMARK #1 ELEV. = 842.78 (NAV88)
PK NAIL IN NORTHEAST SIDE UTILITY POLE, 22' EAST OF EAST EDGE OF FRANCIS ROAD, 107' SOUTH OF SOUTHERLY GRAVEL DRIVE OF HOUSE #15275 FRANCIS RD, 125' NORTH OF NORTHERLY ASPHALT DRIVE OF HOUSE #15635 FRANCIS RD

BENCHMARK #2 ELEV. = 842.78 (NAV88)
PK NAIL IN WEST SIDE UTILITY POLE, 168' EAST OF EAST EDGE OF FRANCIS ROAD, 300' NORTH OF NORTHERLY GRAVEL DRIVE OF HOUSE #15275 FRANCIS RD

72 HOURS (3 WORKING DAYS) BEFORE YOU DIG CALL MISS DIG 800-482-7171 (TOLL-FREE)



SOIL TYPE:
CbB - Capac-Marlette
Loams, 1-6% slopes
CvraB - Conover Loam,
0-4% slopes
Mac - Filer Loam,
6-12% slopes
Sb - Sebawa Loam,
0-2% slopes
WbA - Wasepi sandy Loam,
0-4% slopes

TOTAL ACRES = 5.17 ACRES
AREA DISTURBED = ±3.83 ACRES

DENOTES EXISTING DRAINAGE FLOW

DENOTES PROPOSED DRAINAGE FLOW

= SILT FENCE (TYP.)

= LIMITS OF EARTH DISTURBANCE (TYP.)

SEQUENCE OF CONSTRUCTION

- INSTALL ALL TEMPORARY SILT FENCE PER PLAN AND AS SHOWN ON THE DETAIL SHEET.
- CONSTRUCT THE TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT PER DETAIL (USE EXISTING GRAVEL ENTRANCE).
- INSTALL ALL INLET PROTECTION FABRIC DROP IN ALL EXISTING YARD BASINS OR INLETS WHICH MAY BE SUSCEPTIBLE TO SEDIMENT EROSION FROM THE PROPOSED CONSTRUCTION AS SHOWN IN THESE PLANS.
- WHILE MAINTAINING A VEGETATIVE BUFFER WHENEVER POSSIBLE STRIP AND STOCKPILE TOPSOIL ABOVE AREAS OF PROPOSED EXCAVATION OR GRADING FOR LATER USE ON SITE. PLACE STOCKPILED TOPSOIL IN AREAS WHICH ARE NEITHER SUBJECT TO HIGH RUNOFF NOR ALONG STEEP SLOPES. SEED AND MULCH STOCKPILES IMMEDIATELY TO PREVENT WIND BLOWN SEDIMENT POLLUTION AND EXCESSIVE DUST.
- EXCAVATE FOR PROPOSED ROAD AND UTILITY CONSTRUCTION AS NECESSARY. DO NOT EXPOSE AREAS FAR IN ADVANCE OF THE PROPOSED CONSTRUCTION FOR THAT AREA. ROUGHEN AND SCARIFY EXPOSED SURFACES TO REDUCE RUNOFF VELOCITY AND SEDIMENTATION. MAINTAIN VEGETATION WHENEVER POSSIBLE TO PROVIDE A NATURAL BUFFER.
- AFTER COMPLETION OF THE PROPOSED UTILITIES, INSTALL INLET PROTECTION FABRIC DROPS IN, IN ALL INLETS. PLACE INLET PROTECTION FENCE AROUND ALL INLETS.
- INSTALL TEMPORARY STONE FILTER BERMS PERPENDICULAR TO EXPOSED STEEP SLOPES AS NECESSARY ALONG THE PROPOSED CONSTRUCTION TO REDUCE RUNOFF VELOCITY AND SEDIMENTATION. USE TEMPORARY STRAW BALE CHECK DAMS TO SLOW DOWN AND/OR DIVERT HEAVY RUNOFF WHERE NECESSARY.
- TOPSOIL, SEED, FERTILIZER AND MULCH ALL EXPOSED AREAS AS SOON AS FEASIBLE TO PROTECT AND RESTORE PERMANENT VEGETATION.
- WATER EXPOSED GROUND REGULARLY TO CONTROL AIRBORNE PARTICULATE MATTER.
- THE CONTRACTOR SHALL MAINTAIN ALL TEMPORARY AND PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS AND UNTIL PERMANENT VEGETATION IS REESTABLISHED IN ALL EXPOSED AREAS. REMOVE ACCUMULATED SEDIMENT FROM ALL STRUCTURES.
- THE SITE WILL BE PERIODICALLY INSPECTED BY THE CLINTON COUNTY DRAIN OFFICE. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE RULES AND REGULATIONS OF THAT OFFICE.
- UPON FINAL APPROVED INSPECTION OF THE COMPLETED CONSTRUCTION BY ALL REVIEWING AGENCIES, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.

SOIL EROSION CONTROL NOTES:

- ALL SOIL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE CLINTON COUNTY DRAIN COMMISSION REQUIREMENTS AND PROJECT SPECIFICATIONS.
- DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE EFFECTIVENESS OF EROSION AND SEDIMENT CONTROL MEASURES, AND ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
- ANY EROSION OR SEDIMENT FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT BE ALLOWED TO COLLECT ON ANY OFF-SITE AREAS, OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MANMADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
- CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED AND AS DIRECTED ON THESE PLANS. HE SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES AND OTHER EARTH CHANGES HAVE BEEN ESTABLISHED.
- A MINIMUM 50' LONG BY 20' WIDE, 6" DEEP CLEAN STONE EXIT SHALL BE PROVIDED AT ALL CONSTRUCTION ENTRANCES. SHOULD THE STONE BECOME LESS EFFICIENT IT SHALL BE REPLACED. ALL CONSTRUCTION TRAFFIC WILL USE THE CLEAN STONE EXITS.
- DUST CONTROL WILL BE EXERCISED AT ALL TIMES WITHIN THE PROJECT BY THE CONTRACTORS. SPRINKLING TANK TRUCKS SHALL BE AVAILABLE AT ALL TIMES TO BE USED ON MAIN ROUTES OR OTHER PLACES WHERE DUST BECOMES A PROBLEM.

	2024	2025										
	MARCH	APRIL	MAY	JUNE	JULY	AUGUST	SEPTEMBER	OCTOBER	NOVEMBER	DECEMBER	JANUARY	FEBRUARY
PLACE AND MAINTAIN TEMPORARY EROSION CONTROLS												
TOPSOIL STRIPPING & STOCKPILING												
DEMOLITION AND ON-SITE UTILITIES CONSTRUCTION												
SITE GRADING & EARTHWORK												
BUILDING/PARKING CONSTRUCTION												
TOPSOIL SPREADING												
PERMANENT SEEDING												
FINAL INSPECTIONS & REMOVE TEMPORARY EROSION CONTROLS												

REVISIONS

NO.	DATE	DESCRIPTION
4-10-23	SKETCH	
4-20-23	SKETCH	
6-20-23	SITE PLAN	
2-20-24	SITE PLAN SUBMITTAL	

KEYS, INC. KYES ENGINEERING
2116 HASLETT ROAD, HASLETT, MI 48840
PH. 517-339-1014 FAX. 517-339-8047

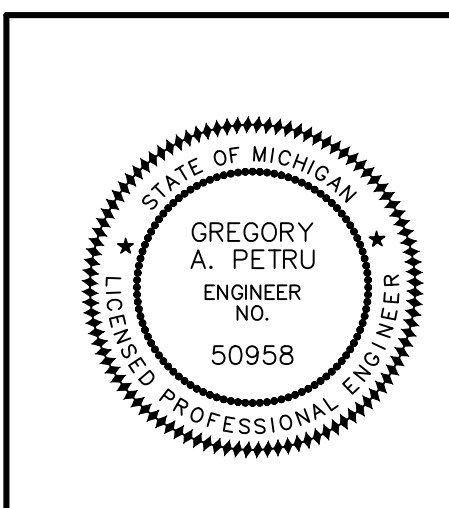
Marshall Office
Ph. 269-781-8800

HOUSE OF PROMISE
SESC PLAN

SCALE: 1" = 40'
DATE: 11-10-22
AUTHORIZED BY: TOM MOTZ

DESIGNER: GREGORY A. PETRU
PROJECT MGR. G.A.P.
APPROVED BY: G.A.P.

SHEET 4 OF 4
JOB #: E-100688





CLINTON COUNTY ROAD COMMISSION

Managing Director: Douglas L. Steffen

Board Members: Gail A. Watkins
Michael J. Frederick
Kevin P. Holt

March 18, 2024

Andrea Polverento
Planning Director
Watertown Charter Township
12803 S. Wacousta Rd
Grand Ledge, MI 48837

Re: Case 24-03 – SPR
15275 Francis Rd
House of Promise
Parcel(s): 19-150-027-200-041-00 & 19-150-027-200-040-05

Andrea,

The Road Commission has reviewed the proposed site plan and has no objections, site access will remain as-is, utilizing existing driveways. The applicant will need to obtain a permit from the Road Commission if any work is to be done within the public road right-of-way.

Sincerely,

Marc Trotter, PE
Dir. of Engineering
Clinton County Road Commission

Joel Haviland
Building/Soil
Erosion
Administrator

Clinton County Community Development
100 E. State Street, Ste. 1300
St. Johns, MI 48879
Building Department: (989) 224-5181
Planning & Zoning Department: (989) 224-5292
Fax: (989) 227-6492
www.clinton-county.org

Michelle Smith
Soil Erosion Secretary

Daniel Hufnagel
Building/Soil
Erosion Inspector

Clinton County Enforcing Agent SOIL EROSION PERMIT EXEMPTION/WAIVER

A Soil Erosion and Sedimentation Control Permit is not needed at this site for the following reason:

- WAIVER:** Earth change* will not result in or contribute to soil erosion or sedimentation of waters of the state* (less than 225 ft. will be disturbed).

Reason for Waiver: _____

Owner's Signature: _____

- EXEMPTION:** Earth change is not within 500 feet of any lake, stream, or regulated wetland; not within 100 feet of a county or municipal drain AND disturbs less than one acre of land.

- Earth change is an agricultural practice involving the plowing and tilling of land for the purpose of crop production or the harvesting of crops.

- Earth change required on-site inspection. Performed on: _____

Reason for exemption: _____

- Other:** _____

* An "earth change" means a human-made change in the natural cover or topography of land, including cut and fill activities, which may result in or contribute to soil erosion or sedimentation of waters of the state. Earth change does not include the practice of plowing and tilling of soil for the purpose of crop production.

* "Waters of the state" means the Great Lakes and their connecting waters, inland lakes and streams as defined in rules promulgated under Part 91, Soil Erosion and Sedimentation Control of the Natural Resources and Environmental Protection Act 1994 PA 451, As Amended, and wetlands regulated under Part 303.

Further comments or stipulations:

Name: _____

Parcel #: _____

Type of Project: _____

Site Address: _____

Exemption approved by:  Clinton County Community Development Department

Date: _____

From: [Morrison, Jon](#)
To: [Andrea Polverento](#)
Subject: RE: Site Plan Review/Special Use Permit - House of Promise Campus Expansion
Date: Friday, March 22, 2024 11:37:24 AM

Andrea,

I haven't been able to get out to walk the House of Promise site yet but did drive by it recently and noted a couple of things.

First, the site does fall off notable NW towards Francis Road with the Francis Rd roadside ditch then falling north a short distance to the Stace County Drain. This is likely the direction that drainage on the site needs to be directed. I am thinking a smaller (6") dual wall perforated tile buried following the proposed driveway back into the site might be a good approach to drainage versus shallow ditching, etc. The key is getting the outlet of this tile installed with this first phase so it can readily be connected to for future improvements.

Second and perhaps more critical I noted what I believe is an elevated mound septic system just SE of the existing residential structure. That mound was decent size. If something like this is in order for each of the future buildings that will have implications for drainage both based on the footprint of the mounds and the need to isolate them both away from areas receiving any significant drainage and the health department has a setback requirement to defined drainage features. I thought you might want to give them a heads up on this so they can work out a long term configuration with the Health Department if they haven't already.

Jon W. Morrison
Deputy

1/29/2020 10:09:02 AM

Clinton County Drain Commissioner's Office

Ph: (989) 224-5212, Fax: (989) 227-6449

morrisonj@clinton-county.org

This message has been prepared on resources owned by Clinton County, MI. It is subject to the Internet and Online Services Use Policy of Clinton County.

From: Andrea Polverento <apolverento@watertownmi.gov>
Sent: Wednesday, March 13, 2024 10:46 AM
To: Morrison, Jon <MorrisonJ@clinton-county.org>
Cc: McGrady, Renee <McGradyR@clinton-county.org>
Subject: Site Plan Review/Special Use Permit - House of Promise Campus Expansion

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Jon,

Attached, please find the application packet and digital site plans for a proposed expansion at the House of Promise, 15275 Francis Road. The applicant is intending this project to proceed in a phased approach, with only Building A on the attached plans proposed for construction at this time. The remaining buildings will be constructed at a later date,

From: [Adam Byrne](#)
To: [Andrea Polverento](#); [John Janski](#)
Subject: RE: Site Plan Review/Special Use Permit - House of Promise Campus Expansion
Date: Thursday, March 14, 2024 10:12:14 AM

Good Morning Andrea,

Tom Motz has been working with us regarding this site. We currently have a septic and well permit issued for the site. Please let me know if you have any additional questions or concerns.

Regards,

Adam Byrne, REHS

Environmental Health Supervisor
Mid-Michigan District Health Department
615 N State St.
Stanton, MI 48888
Office phone: 989-227-3104
Fax: 989-224-4300



We take action to protect, maintain and improve the health of our community

From: Andrea Polverento <apolverento@watertownmi.gov>
Sent: Wednesday, March 13, 2024 11:08 AM
To: John Janski <jjanski@mmdhd.org>; Adam Byrne <abyrne@mmdhd.org>
Subject: Site Plan Review/Special Use Permit - House of Promise Campus Expansion

Hi John & Adam,

Attached, please find the application packet and digital site plans for a proposed expansion at the House of Promise, 15275 Francis Road. The applicant is intending this project to proceed in a phased approach, with only Building A on the attached plans proposed for construction at this time. The remaining buildings will be constructed at a later date, pending approval of the overall plans.

It's my understanding that the applicant has been working with your office to achieve this layout, but please let me know if you have any concerns or questions about this project, by

3-19-2024

WATERTOWN CHARTER TOWNSHIP PLANNING COMMISSIN

WATERTOWN CHARTER TWP

MAR 21 2024

RECEIVED

HOUSE OF PROMISE filed "FOR A SPECIAL PERMIT by Shari Montgomery
PRIVATE BOARDING SCHOOL, POSSIBLE "COMMUNITY CENTER,

Francis Road is a " 2-LANE highly-trafficed-24-7 "CORRODED - FULL OF POT HOLES, CHUCKS OF NEWLY put ASHALT of a MESS! And NOISE COMING from trucks, cars now SEIMS coming from 'LOVES gas station?" Thats on the corner of Grand River ! THIS TOWNSHIP would even consider that request? We would have THREE TIMES the problem coming from a BOARDING SCHOOL- COMMUNITY CENTER? Mention that noise, traffic in and out on this 2-lane. More accidents, road work, builting construction lasting year or more.

THE BENEFIT IS FOR A FEW ABUSED TRAFFICED women,and who's not one sometime in a females life they don't get used! AND THE BENEFIT FOR US NIL, only for charity we all donate monthly for something oe somebody!

Now having too care, feel sorry for, FEED, CLOTH GIVE HOUSING and ALSO let 8 million ILLEGALS in? CROSSing OUR BORDERS WITH DRUGS FENTINAL, RAPING YOUNG GIRLS, wont stop, just gets worse with this -WHAT ELSE! With everything going to everybody else, every other country pushing us out of our own, for a cause, a dont care or a do care. When we are trying too survive ourselves!

THIS WOULD BE NO

It was a "NO" when it was 200-300 hundred people week-end weddings, before Miss Shari got this HOUSE! That house only benefits a few. NEXT, illegals benefit hundreds coming from our borders, NO to that! And we have a "community center" already!

SINCERELY,

Bonnie Mckrill
Francis Road
Lansing, Mi. 48906



RECEIVED

APR 3 2024

Date: April 3, 2024

Subject: Special Land Use Permit, Case # 24-03 SLU, amending existing permit 18-02 SLU
WATERTOWN CHARTER TWP

To: Watertown Township Planning and Zoning Department,

I am writing to the township regarding my opposition to the proposed Special Land Use Permit No. 24-03 SLU. As such, I'd like to outline my concerns in this letter for your consideration during the upcoming meeting on April 3, 2024, regarding this particular matter.

1. It must be noted, in the forefront, that special land use permits are generally permitted due to a recognition that there is some "benefit" to the community, either in direct proximity or at large (in this case, neighbors in close proximity to the land in question and/or Watertown Township residents as a whole). From the information currently available, I do not see how this benefits the township residents.
2. The current special land use permit (No. 24-03 SLU) allows for a private boarding school with the existing facilities that, up to now, has been operating in harmony with the neighborhood and surrounding community. It was allowed as an alternative to previous uses of the land (Bed and Breakfast, special event location) that were ultimately disallowed for some of the very reasons we expect the "expanded" special land use permit would create.
3. The proposal identifies that it would expand the current boarding school by adding an additional three (3) boarding facilities in the 4,000+ sq-ft of space and a "community center" on the existing 5.4 acres. This would create a vastly expanded and densely populated facility on this parcel of land.
4. What is the benefit of the community center to the residents of Watertown Township? We already have facilities within the township that can be used as such. Where is the demand for such a structure/facility?
5. The three additional boarding houses would create a tremendous increase in boarding school residents as well as increased operational and other necessary staff to run and maintain this facility. This creates a tremendous amount of increased activity at this location, even in the absence of the so called "community center."
6. The project would create a significant increase in the amount of traffic going into and out of the property in question. This requires adequate parking to be added to this already cramped lot with the increase in buildings.

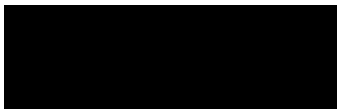
7. The increase in traffic into and out of the property also significantly raises the traffic congestion in this area as well as the traffic safety issues for the volume of traffic that uses the Francis Road gateway to our community, in and around this area.
8. The added traffic will also provide additional wear and tear on the road surface which already suffers from overuse by residents and "pass through" traffic (especially semi-trucks).
9. The additional facilities will also increase the amount of light pollution during the night hours of operation.
10. This will significantly increase traffic, noise, and disruption to township residents during the construction phase, but also long after construction ceases.
11. The increased traffic and facilities will also increase the amount of unwanted noise from the overall operations of this facility which will be born mostly by the residents in the immediate vicinity of the property (i.e. Kevin/Lisa Chapin's property and Bonnie McKrill's property).
Noise issues and traffic issues were in large part the reason for the previous business owner having to close the Bed and Breakfast/event facility previously.
12. The expanded facilities being proposed would have a negative impact on the property values of the homes in closest proximity to this land/facility (i.e. Chapin and McKrill properties).
13. What costs, if any, is the township providing for this project? Either one time or ongoing? Is this going to impact property taxes for any property owners. Again, what is the benefit to the community?

Lastly, I'd like to say that my wife Lisa and I moved to this location in November 2020 with the knowledge of the existing neighborhood and surrounding area and what it had to offer. We have a significant amount of open farm land surrounding our home and close proximity to resources, this was and is a very enticing attribute of our home and our home's value. Had this project been undertaken prior to our purchase of this home, we would not have purchased this property. Approval of this special land use permit will not provide any benefit to the community that we feel is positive, either for us or the surrounding neighbors/community.

Thank you for your consideration.

Respectfully,


Kevin S. Chapin




Lisa J. Chapin





12803 S. Wacousta Rd., Grand Ledge, MI 48837
517-626-6593
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PLANNING COMMISSION REGULAR MEETING MINUTES - DRAFT
Wednesday, April 3, 2024 | 7:00 pm

CALL TO ORDER: The meeting was called to order at 7:00 pm by Chair Rick Adams with the Pledge of Allegiance.

PLANNING COMMISSIONERS PRESENT: Chair Rick Adams (left at 8:45pm), Vice-Chair Ulrika Zay, Zoning Board of Appeals Representative Charles Openlander, Beth Ball (arrived at 7:34pm), Ron Overton, Andrew Powers, and Richard Turcotte. Absent was Secretary John Wiesner.

In the absence of Secretary Wiesner, Zoning Board of Appeals Representative Openlander will serve as Acting Secretary.

STAFF PRESENT: Township Manager Jennifer Tubbs and Planning Director Andrea Polverento.

COMMUNICATIONS RECEIVED: Polverento outlined the communications received.

AGENDA APPROVAL:

Motion by Davis, seconded by Overton, to approve the April 3, 2024 regular meeting agenda as presented. Motion carried.

PUBLIC COMMENT, NON-AGENDA ITEMS: None.

APPROVAL OF MINUTES:

1. March 6, 2024 Regular Meeting

Polverento stated that Ball had requested that the last line under the final public comments be stricken from the minutes. Turcotte, Overton, and Zay stated that the draft as proposed reflected their recollections of the comments made by the Township Manager.

Motion by Turcotte, seconded by Overton, to approve the regular meeting minutes of March 6, 2024 as presented. Motion carried.

PUBLIC HEARINGS:

1. Case No. 24-03 SLU – House of Promise – 15275 Francis Road

Chair Adams opened the public hearing at 7:10pm. The public hearing procedure was summarized.

Polverento drew the Planning Commission’s attention to written comments which had been received, one of which was included in the packet of materials provided in advance of the meeting, and one of which was on the table, having been received that day.

Polverento presented the facts of the case, a request to amend Special Land Use Permit No. 18-02, to expand the campus of the House of Promise. She introduced Ms. Shari Montgomery, Executive Director of the House of Promise. The amendment, if approved, would allow construction of a 4,323 square foot boarding facility. This facility would house a maximum of six occupants, with one on-site staff person. Polverento referenced the site and construction plans which were provided, noting that the construction was designed to look like a single-family home. Polverento referenced conceptual plans the applicant provided for potential future expansion, noting that this application is for the single boarding facility, described at Building A on the site plan. She also noted that the staff report provided went into detail on the zoning requirements for this type of use, including parking and other considerations.

Powers asked about the capacity of the existing and proposed facilities. Polverento responded that the main facility serves a maximum of twelve students, with the proposed facility to serve a maximum of six additional students.

Adams asked for clarification on the square footage of the proposed facility. Polverento explained that the total area is 4,323 square feet, with 2,435 square feet on the main floor, and 1,888 square feet on the finished lower level. Adams noted that the site is 5.4 acres.

Davis asked about the age range of the current and expected students. Montgomery responded that they only accept adults over 18 years, and up to 50 years old. They do not admit students under 18 due to licensing requirements. Most residents are between 20-50 years old.

Turcotte asked Polverento to describe the standard regulations for lot size in the AG-Agricultural District. Polverento reminded the Planning Commission that lots in the AG zoning district have a minimum one-acre lot size, with 150 feet of frontage on a public road. Turcotte noted that the property is 5.4 acres, and that five buildings are proposed long-term. Polverento also noted that the staff report referenced two parcel numbers, however, the property owner had worked with the assessing office to combine those parcels, and that a new parcel number had been issued for the 5.4 acres.

Adams asked about comments received from the Drain Commissioner's office regarding the septic system serving the main facility, and if this proposed facility would require a new mound system. Polverento responded that the Drain office had indicated that the main facility is served by a mound system, but that the new septic system serving the proposed facility would be a standard, cut-in, at grade system. Polverento stated that she spoke with the Mid-Michigan District Health Department (MMDHD), having referred the Drain office's comments, and the MMDHD noted that due to the design of this proposed system, they did not anticipate drainage issues. Adams wondered why, if this was heavier clay soils, the main facility had a mound system. Montgomery responded that the installation of the mound system was atypical. The MMDHD tested five areas and they all met the perc test requirements for a standard system. Montgomery added that they may seek to replace the mound system serving the main facility with a standard system in the future.

Davis asked how long the House of Promise had been operational. Montgomery responded that they had been operating for six years. Davis asked if, during that time, any major issues had been encountered, such as law enforcement responses or similar issues. Montgomery responded that the House of Promise tries to stay very quiet. She said that there have been ambulance responses, more out of an abundance of caution, they would rather provide professional emergency medical response to their residents. In terms of law enforcement, they have not had any trouble with the staff or residents of the House of Promise. There were a few situations where a staff member was spooked, and they asked for the Sheriff's Department to

respond. She added that they have a good relationship with the Sheriff's Department, they know what the facility is, and they have a protocol for a specific type of response.

Polverento added that the Sheriff's Department had been notified of this application, and they responded that they had no issues or concerns with the proposal.

Zay asked if the House of Promise had a main administrative office that was off-site. Montgomery responded that the offices for the facility are onsite.

Openlander, referring back to the discussion on the mound septic system, noted that for a time, the health department preferred the mound systems, and oversaw the installation of substantially more of them than they do now.

Turcotte asked staff if Francis Road was an all-season road. Polverento responded that it is.

There being no further questions for staff, Adams offered Ms. Montgomery, the applicant, the opportunity to make any comments.

Montgomery stated that the House of Promise tries to stay quiet, they don't wish to be known. They like to keep a low profile, and they try to keep traffic to a minimum. Any visitors must call before stopping, anyone who does pull in is immediately questioned. She said that the proposed construction will be a beautiful home, and that she believes they will add value to the neighborhood. They keep the property well-maintained. Montgomery added that her dream for the property is for it to be a sanctuary, she wants it to be beautiful and quiet. She wants to be a blessing to the community, not a hinderance.

Bonnie McKrill, 15300 S. Francis Road, interjected, asking if it was true that some of the girls came from the Ingham County jail and were dropped off. McKrill said she saw people in orange jumpsuits. Montgomery responded that the allegation was not true.

Adams reminded the audience that it was Ms. Montgomery's time to speak, and that everyone would have a chance to comment when she concluded her remarks.

Montgomery stated that she has proved over the six years they have been in operation that they been successful. Overton stated that, by definition, they are not trying to draw any attention to themselves. Montgomery agreed.

Adams asked the Planning Commissioners if they had any questions for the applicant.

Davis asked Ms. Montgomery about the timeline for construction. Montgomery responded that they hoped to break ground on Building A as described on the site plan in May. They have secured funding for the construction of Building A from a donor and are ready to go, as soon as they have township approval. The future construction shown on the site plan will be dependent on fundraising. Montgomery did not expect this construction to be necessary so soon, she did not realize how great the need was when she started the House of Promise.

Overton clarified that the buildings shown as B, C, and D on the site plan will be based on funding, and need. Overton noted that the House of Promise does not receive any funding from the township.

Montgomery added that she receives no local, state, or federal funding. Her financial support is from within the community.

Zay asked, given the demand and the need to expand, if they had looked for an existing structure, an existing home. Why does this all need to be on the same parcel?

Montgomery responded that her dream was to have a campus. It is so much more efficient with staffing, and to be able to offer on-site opportunities for growth to the students they serve. The students have familiar staff following them through the process, it's a much more effective system.

Zay asked Montgomery if it was her dream when the original special use permit was approved to have this expanded campus. Montgomery replied that it was. She did not expect to be able to expand this quickly, or that the need would be so great, but this has always been her dream.

Turcotte asked if they had health care professionals during the day to serve the students. Montgomery said that they do not, but that she hopes to have an in-house therapist in the future.

There being no further questions from the Commissioners for Ms. Montgomery, Adams asked for comments from any individuals from the audience.

Kevin Chapin, 15248 Francis Road, noted that he had submitted one of the letters. Adams acknowledged the letter had been received. Chapin stated that the letter outlined several of their concerns. He noted that the House of Promise has been in harmony with the neighborhood, but his concern is that will change. By adding more capacity, it will mean more staff coming and going, and it will be more prominent. People are accustomed to seeing this one building there today, by adding buildings, it will bring more traffic and raise the visibility of this facility. Currently, there are quite a few cars that park at the main house during the day. Chapin would see this going up considerably based on the number of people they would be adding to the facility. This would mean more staff, more therapists, more maintenance and upkeep providers, etc. Chapin reiterated that this would raise the visibility of the site. He expects that most people going by don't know it's the House of Promise, which is good for the residents, but he thinks that this expansion will change that aspect tremendously.

Chapin said that they have lived across the street for approximately three years. When they purchased their property, it was their understanding they wouldn't see this type of change there. He feels this special land use permit goes beyond what he thinks most of the neighborhood would prefer. He thinks it's safe to say most people don't speak up, but he ventures to guess that many people, if they understood the extent of the expansion proposed, would be hesitant to want this approved.

Adams noted to Chapin that it sounded like he was speaking more about if the four buildings were constructed over time, not just Building A which was being considered. Chapin agreed that he was looking at the full expansion plan. Chapin said that historically, with this facility formerly being an event venue, which was closed for many of the reasons they noted in their letter, this feels like it's slipping back into something that got the previous use shut down. As this continues to grow, he thinks we will just be back to where that was, being disallowed and closed. As this expansion continues, it is turning into something that he would rather not have across the road.

Adams understands Chapin's position, but stated that this application only deals with Building A, not the whole plan. Chapin understands, but noted that his position was that he preferred no additional expansion on the property to occur.

Polverento noted for the record that the former event venue was an illegal use, which was why it was shut down. Overton noted that the previous owners did not attempt to obtain the proper permits.

Adams noted that Chapin's letter described possible light pollution. Adams asked Montgomery if they planned to install floodlights or anything similar.

Montgomery responded that they did not expect to install floodlights. They may have some minimal lighting, she pictured maybe a street light or something similar. Chapin stated that he feels adding lighting is likely to make the facility more visible to those going by.

Powers asked that, given the discussion about people and traffic, if Montgomery could explain if any of the student residents had their own cars. Montgomery stated that most of the women who come to the House of Promise come with the clothes on their back. It's very uncommon for them to have a vehicle, although occasionally it does happen. For example, one of their residents came with a vehicle, but for the first year she was there, she was not able to drive it, it was just parked at the facility. They have three executive staff who park there regularly, and they have two day staff from 7am-5pm. They may have a volunteer during the day. After 5pm, they only have one staff member, so the parking lot is relatively empty overnight. If they are allowed to add another house, they are likely adding two cars.

Chapin said that he agrees with Montgomery's statement that overnight there are not many cars, but that during the day he sees anywhere from five to 12 cars parked there. Montgomery clarified that they have staff meetings on Wednesdays which may bring more vehicles to the site. Chapin described the type and speed of traffic on Francis Road.

Montgomery added that they are closing off the circle drive, eliminating one of the entrances off Francis Road.

McKrill asked if that was going to be on her side. Montgomery stated that the horseshoe drive would be closed. McKrill said that when the snow was plowed out of the House of Promise it all ends up in her driveway. All the gravel from their drive is in her driveway.

Adams asked Chapin if he was through with his comments. He said he was. Adams invited Ms. McKrill to speak.

McKrill said that she has had problems since she moved in. First it was the wedding venue, with 200-300 people every Friday, Saturday, and Sunday. She's had trash, she's had her trees ruined, she's had two bushes uprooted, and she is right across the street and had to put up with this. Now she has to put up with this House of Promise. McKrill has seen the girls going next door and making out with guys at the rental garage and the hot rod club. She sees it all. McKrill has had more trouble and has paid more than \$1,800 per tree that has been hit by traffic. She has been through 13 mailboxes. She doesn't see the House of Promise helping her pay for this. Three trees at \$1,800 a piece she has had to have taken down because they have been hit. McKrill said that Montgomery wants to say how good this place is, but there is traffic in and out of there all day long. She wants to know who is going to feel sorry for her. She has been there since 1983 and put up with this. The wedding venue, now the House of Promise, and they want to build

more and bring in more people. The traffic on Francis Road is unbelievable. McKrill says her property has been ruined.

Davis asked McKrill how many of the property issues have occurred in the past six years since the change of ownership of the House of Promise property. McKrill responded that three trees and two bushes had been damaged.

Montgomery noted that those issues had nothing to do with the House of Promise.

McKrill stated that the traffic on Francis Road goes 50-70 miles per hour past her house. There have been accidents. Semis from the Love's gas station go by and won't be able to slow down. More people, more problems. She thinks that the Planning Commission should think about that, since she has to put up with it.

Adams thanked McKrill for her comments. He asked Montgomery if she would like to respond to any of Ms. McKrill's comments. Montgomery stated that she was sorry for McKrill's trees, but that the House of Promise didn't have anything to do with the damage. McKrill interjected that Montgomery wanted her house, that Montgomery wanted McKrill to donate her house so that she didn't have to pay property taxes.

Montgomery responded that she was sorry for Ms. McKrill's trees. She agreed that traffic on Francis Road is busy, which is why they want to eliminate the circle drive. Montgomery thinks that Francis Road is the type of road a house like theirs should be built on, because it has more capacity than a neighborhood street would. McKrill again interjected that Montgomery wanted her to donate her house. McKrill said that Montgomery came over to ask her that, then she wouldn't have to pay for her property taxes.

Adams reminded Ms. McKrill that it was Montgomery's opportunity to speak. Montgomery acknowledged that she had stopped at Ms. McKrill's property, and that they had been talking, and Ms. McKrill complained about her property taxes. Montgomery added that she had flippantly offered that if Ms. McKrill donated –

McKrill interrupted, saying that Montgomery was not welcome on her property. It has "No Trespassing" signs all over.

Chapin said that he understood that the House of Promise only has funding for this one building, but what happens when she gets this built, but doesn't have the funding to keep the facility running.

There being no further public comment, the public hearing was closed at 7:50pm.

NEW BUSINESS:

1. Case No. 24-03 SPR/SLU – House of Promise – 15275 Francis Road

Staff reviewed the specific special land use requirements with the Planning Commission.

The following standards are taken from Article 6 of the Zoning Ordinance, and are the basis for review by both Township staff, Planning Commission and Township Board. The Planning Commission reviewed each standard, and suggests the following conclusions:

General Review Standards. Each application shall be reviewed for the purpose of determining that the proposed special land use meets all of the general standards. Each special land use will:

- (A) Be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance, with the existing or intended character of the general vicinity and that such a use will not change the essential character of the area in which it is proposed;

Complies Does not Comply Condition of Approval Not Applicable

Comments: The proposed use meets this standard. The proposed construction is to be designed and constructed to resemble similar single-family residential buildings in the vicinity so as not to change the essential character of the area.

Zay argued that it does not comply. The reason for her thinking is based upon the age of the existing structure, it being built in the late 1800s. She also looked at the tree sizes, and the existing carriage house, although it's unknown if it was original to the house. Zay understands that the funding is from private sources, and that she realizes that her comments are generally only relevant when something is publicly funded. She is familiar with the site, and has taken a tour of the home. It is a remarkable and beautiful property. She appreciates the work of the family who restored it. The home, the trees, and the carriage house have a presence, and it is somewhat unique in the township. She thinks that building anything on this 5.4 acre property, which is subject to a special land use permit, but to expand and to build new structures and a new road will completely change the character of that site. Zay reiterated that this was her opinion, and she doesn't feel as though it's something that would be enforceable by historic preservation, because of the private source of the funding. Zay thinks that if the funding was from federal sources, they would not be able to do this project. Zay thinks that while the review standard is subjective, she feels it does not comply.

- (B) Be served adequately by essential public facilities and services such as highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities;

Complies Does not Comply Condition of Approval Not Applicable

Comments: The proposed use is adequately served by highways and roads, and police and fire protection. There is no public water or sanitary sewer service available to the site, onsite well and septic facilities are adequate. The County Drain Commissioner provided minor comments relating to driveway drainage which are included as a proposed condition of approval.

- (C) Not create excessive additional requirements at public cost for public facilities and services;

Complies Does not Comply Condition of Approval Not Applicable

Comments: The proposed use is not expected to create excessive additional requirements at public cost.

- (D) No involve uses, activities, processes, materials, and equipment or conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive effects of traffic, noise, smoke, fumes, glare, or odors affecting adjacent properties, streets, or uses;

Complies Does not Comply **Condition of Approval** Not Applicable

Comments: The proposed use is expected to comply with this requirement; a condition of approval indicating as such has been included.

- (E) The proposed use is so designed, located, planned and to be operated that the public health, safety and welfare will not be adversely impacted; and

Complies Does not Comply Condition of Approval Not Applicable

Comments: The proposed use is expected to comply with this requirement.

- (F) The proposed use shall not be detrimental to existing and/or other permitted land uses in the zoning district.

Complies Does not Comply Condition of Approval Not Applicable

Comments: The proposed use is expected to comply with this requirement.

Motion by Davis, seconded by Powers, that the Planning Commission recommend to the Board of Trustees approval of Case No. 24-03 SLU for Shari Montgomery of the House of Promise, for an amendment to Special Land Use Permit No. 17-02, to authorize expansion of the campus of the House of Promise, in a phased approach, with Phase 1 of construction to include a 4,323 square foot boarding facility, and future phases to include two additional boarding facilities and a community center of similar size, in accordance with their existing permit to operate a private boarding school at 15275 Francis Road, in Section 27 of Watertown Charter Township, provided that conformance to conditions 1-10, as noted below, are achieved to the satisfaction of the Township Zoning Administrator as being in accordance with the requirements of the Watertown Charter Township Zoning Ordinance.

Condition of Approval for **Special Land Use Permit No. 24-03:**

1. The applicant shall maintain compliance with Variance No. 17-09.
2. The applicant shall receive approval for and maintain compliance with the final site plan.
3. The applicant shall comply with the requirements of the Mid-Michigan District Health Department.
4. The applicant shall comply with the recommendations of the Clinton County Drain Commissioner's office relating to driveway drainage.
5. Outdoor lighting shall comply with Section 28-5.18 of the Watertown Charter Township Zoning Ordinance.
6. Any signage shall meet the requirements of the township's sign ordinance and permits shall be obtained.
7. The applicant shall meet the requirements of the Township Building Official.

8. The applicant shall meet the requirements of the Looking Glass Regional Fire Authority and the Clinton County Sheriff, if applicable.
9. The proposed use shall not involve uses, activities, processes, materials, and equipment or conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive effects of traffic, noise, smoke, fumes, glare, or odors affecting adjacent properties, streets, or uses.
10. Applicant must comply with all applicable State, Federal and Township laws.

Roll call vote:

Yes: Adams, Openlander, Powers, Ball, Davis, Overton, Turcotte

No: Zay

Absent: Wiesner

Motion carried.

The following standards are taken from Article 6 of the Zoning Ordinance, and are the basis for review by both Township staff and the Planning Commission. The Planning Commission reviewed each standard, and made the following conclusions:

- (1) *Master plan.* The general purposes and spirit of this chapter and the comprehensive development plan of the township shall be maintained.

Complies Does not Comply Condition of Approval Not Applicable

Comments: The proposed use is consistent with goals, objectives, and implementation strategies of the master plan.

- (2) *Health, safety and welfare.* The uses proposed will not adversely affect the public health, safety, or welfare. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter.

Complies Does not Comply Condition of Approval Not Applicable

Comments: The proposed use is not expected to adversely affect the public health, safety, or welfare, nor impede the orderly development of surrounding properties.

- (3) *Access.* Safe, convenient, uncontested, efficient and well-defined vehicular and pedestrian circulation shall be provided for ingress/egress points and within the site. All streets and driveways shall be developed in accordance with the township subdivision control ordinance, the county road commission, and the state department of transportation specifications, as applicable. The proposed development shall be serviced by an adequate road system, and shall not adversely impact the level of service on adjacent roads.

Complies Does not Comply Condition of Approval Not Applicable

Comments: Safe and efficient onsite traffic flow is provided. No new ingress/egress points are proposed.

- (4) *Emergency vehicle access.* All buildings and groups of buildings shall be arranged so as to permit reasonable necessary emergency vehicle access as requested by the fire department serving the township.

Complies Does not Comply Condition of Approval Not Applicable

Comments: The existing and proposed buildings have adequate access by the fire department serving the township.

- (5) *Pedestrian circulation.* A pedestrian circulation system which is separated from the vehicular circulation system may be required. In order to ensure public safety, pedestrian measures such as sidewalks, crosswalks, crossing signals and other such facilities may be required in the vicinity of schools, playgrounds, shopping areas, or other uses which generate a considerable amount of pedestrian traffic.

Complies Does not Comply Condition of Approval **Not Applicable**

Comments: The proposed use will not cause any adverse impacts to pedestrians. Sidewalk areas between the main parking area and the facility are provided for.

- (6) *Natural features.* Removal or alteration of significant natural features shall be restricted to those areas which are reasonably necessary to develop the site in accordance with the requirements of this chapter.

Complies Does not Comply Condition of Approval Not Applicable

Comments: There is no proposed removal or alteration of significant natural features.

- (7) *Topography.* The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this chapter.

Complies Does not Comply Condition of Approval Not Applicable

Comments: No major site grading is anticipated. A Soil Erosion and Sedimentation Control permit waiver has been received.

- (8) *Drainage.* To provide areas for natural habitat, preserve natural drainage patterns and maintain the natural characteristics of the land, areas of natural drainage such as swales, wetlands, ponds, or swamps shall be protected and preserved insofar as practical in their natural state.

Complies Does not Comply **Condition of Approval** Not Applicable

Comments: The applicant shall comply with the recommendations of the Clinton County Drain Commissioner regarding driveway drainage.

- (9) *Stormwater management.* Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate stormwater, prevent erosion and the formation of dust.

Complies Does not Comply **Condition of Approval** Not Applicable

Comments: The applicant shall comply with the recommendations of the Clinton County Drain Commissioner regarding driveway drainage.

- (10) *Landscaping.* Landscaping, landscape buffers and greenbelts shall be provided and designed in accordance with Article VIII of this chapter.

Complies Does not Comply Condition of Approval Not Applicable

Comments: No landscape buffer is required, the property is zoned AG and is surrounded on all sides by property zoned AP and AG.

- (11) *Privacy.* To minimize or prevent trespassing or other adverse effects of adjacent lands, the site plan shall provide reasonable visual and sound privacy for all uses located therein, and adjacent thereto.

Complies Does not Comply Condition of Approval **Not Applicable**

Comments: There is no proposed fencing or gate for the use.

- (12) *Lighting.* To reduce artificial light pollution, avoid light trespass on to adjacent property and improve travel conditions by reducing glare and excessively lit surfaces, exterior lighting shall be in accordance with Sec. 28-5.18, Outdoor lighting.

Complies Does not Comply **Condition of Approval** Not Applicable

Comments: The proposed use shall comply with Sec. 28-5.18, Outdoor Lighting.

- (13) *Outside approvals.* Site plans shall conform to all applicable requirements of county, state, federal, and township statutes and ordinances. Approval may be conditioned on the applicant receiving necessary county, state, federal, and township permits before final site plan approval is granted.

Complies Does not Comply **Condition of Approval** Not Applicable

Comments: This is a regular requirement of all applicants.

Motion by Powers, seconded by Overton, that the Planning Commission approve Case No. 24-03 SPR for Shari Montgomery of the House of Promise, for final site plan review for expansion of the campus of the House of Promise, in a phased approach, with Phase 1 of construction to include a 4,323 square foot boarding facility, and future phases to include two additional boarding facilities and a community center

of similar size at 15275 Francis Road in Section 27 of Watertown Charter Township, provided that conformance to conditions 1-9, as noted below, are achieved to the satisfaction of the Township Zoning Administrator as being in accordance with the requirements of the Watertown Charter Township Zoning Ordinance.

Conditions of **Final Site Plan Approval:**

1. The applicant shall maintain compliance with the requirements of Variance No. 17-09 and Special Land Use Permit No. 24-03.
2. The applicant shall comply with the requirements of the Mid-Michigan District Health Department.
3. The applicant shall comply with the requirements of the Clinton County Drain Commissioner.
4. The applicant shall comply with the requirements of the Clinton County Building Department regarding Soil Erosion and Sedimentation Control, if applicable.
5. The applicant shall obtain all required building and trade permits, and comply with the requirements of the Township Building Official.
6. The applicant shall comply with the requirements of the Looking Glass Regional Fire Authority and Clinton County Sheriff's Department, if applicable.
7. Outdoor lighting shall comply with Section 28-5.18 of the Watertown Charter Township Zoning Ordinance.
8. Any signage shall meet the requirements of the township's sign ordinance and permits shall be obtained.
9. Applicant must comply with all applicable State, Federal and Township laws.

Roll call vote:

Yes: Overton, Adams, Turcotte, Powers, Ball, Davis, Openlander

No: Zay

Absent: Wiesner

Motion carried.

The Planning Commission took a five-minute break at 8:30pm and resumed at 8:35pm.

4. Update on Monroe v. Watertown Charter Township, Et al.

Polverento provided an update on the court case related to 16150 Grove Road.

No action taken.

5. Update on Case No. 24-01 ZBA

The Planning Commission briefly discussed the action taken by the Zoning Board of Appeals at their meeting on March 13, 2024.

No action taken.

2. Proposed Bylaw Amendments

The Planning Commission considered a proposed amendment to Bylaw 1.1 – Election and Term of Officers, which provided a method for removal of an officer of the Planning Commission.

Motion by Overton, seconded by Davis, to adopt the proposed amendment to bylaw 1.1, as presented.

Roll call:

Yes: Turcotte, Openlander, Ball, Overton, Powers, Zay, Davis

No: None

Absent: Wiesner, Adams

Motion carried.

The Planning Commission considered a proposed amendment to Bylaw 1.5 – Duties of the Secretary. This amendment provides for written notice of emergency Executive Committee meetings and for notification and provision of a digital packet for Zoning Board of Appeals meetings. Various suggestions were considered. No action was taken, but this will be reconsidered at the Planning Commission's next regular meeting.

The Planning Commission considered a proposed amendment to Bylaw 1.6 – Representative to the Zoning Board of Appeals, which adds a statement prohibiting the Zoning Board of Appeals Representative from serving on the Ordinance Review Committee.

Motion by Powers, seconded by Davis, to adopt the proposed amendment to bylaw 1.6, as presented.

Roll call:

Yes: Powers, Ball, Zay, Overton, Openlander, Davis, Turcotte

No: None

Absent: Wiesner, Adams

Motion carried.

The Planning Commission considered a minor textual change to Bylaw 2.0 - Meetings.

Motion by Powers, seconded by Overton, to adopt the proposed amendment to bylaw 2.0, as presented.

Roll call:

Yes: Zay, Overton, Turcotte, Powers, Ball, Davis, Openlander

No: None

Absent: Adams, Wiesner

Motion carried.

The Planning Commission considered a proposed amendment to Bylaw 2.1 – Regular Meetings, to include elections as a justification for rescheduling a regular meeting.

Motion by Powers, seconded by Davis, to adopt the proposed amendment to Bylaw 2.1, as presented.

Roll call:

Yes: Ball, Turcotte, Powers, Zay, Overton, Openlander, Davis

No: None

Absent: Adams, Wiesner

Motion carried.

The Planning Commission considered a proposed amendment to Bylaw 3.5 – Executive Committee, to authorize replacement of the Zoning Board of Appeals Representative on the Executive Committee with

an At-Large member if the ZBA Representative also serves as an officer of the Planning Commission; and that interviews and evaluations conducted by the Executive Committee are subject to the review and approval of the Planning Commission.

Motion by Powers, seconded by Davis, to adopt the proposed amendments to Bylaw 3.5, as presented.

Roll call:

Yes: Davis, Powers, Ball, Openlander, Zay, Turcotte, Overton

No: None

Absent, Adams, Wiesner

Motion carried.

3. Officer Elections

Adams was nominated for the office of Chair. There were no other nominations for Chair.

Motion by Turcotte, seconded by Davis, to elect Richard Adams to the office of Chair of the Planning Commission for a one-year term. Motion carried.

Zay was nominated for the office of Vice-Chair. There were no other nominations for Vice-Chair.

Motion by Davis, seconded by Turcotte, to elect Ulrika Zay to the office of Vice-Chair of the Planning Commission for a one-year term. Motion carried.

Powers was nominated for the office of Secretary. There were no other nominations for Vice-Chair.

Motion by Turcotte, seconded by Ball, to elect Andrew Powers to the office of Secretary of the Planning Commission for a one-year term. Motion carried.

Adams was nominated for the office of Representative to the Zoning Board of Appeals. There were no other nominations for Representative to the Zoning Board of Appeals.

Motion by Turcotte, seconded by Powers, to recommend to the Board of Trustees the appointment of Richard Adams as the Planning Commission's Representative to the Zoning Board of Appeals. Motion carried.

6. Review Scope of Delegated Authority to Zoning Administrator on Site Plan Approvals

The Planning Commission discussed whether the site plan review committee may need to meet more frequently. Polverento suggested that she could review the past several years of site plans, and develop some criteria to determine when it would be appropriate and useful for the site plan review committee to meet.

No action taken.

UNFINISHED BUSINESS: None.

COMMITTEE AND STAFF REPORTS:

1. Executive Committee Report – None.
2. Ordinance Review Committee Report – None.
3. Site Plan Review Committee Report – None.
4. Board of Trustees Report – Overton provided the Board of Trustees report.
5. Zoning Board of Appeals Report – None.
6. Capital Improvements Committee Report – None.
7. Staff Reports: Assistant & Director’s Reports – Polverento provided the staff reports.

COMMENTS AND QUESTIONS FROM AUDIENCE, STAFF, AND COMMISSIONERS: None.

ADJOURNMENT:

Motion by Powers, seconded by Ball, to adjourn the meeting. The meeting was adjourned at 9:59pm.

Date approved: 5/1/24

Rick Adams, Chair

Charles Openlander, Acting Secretary

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